

RESOLUTION NO. 2011-255

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE
APPROVING A DESIGN REVIEW, VARIANCE, AND MINOR DEVIATION
FOR THE BP ARCO PROJECT (EG-08-060)
ASSESSOR'S PARCEL NUMBER: 132-0410-040**

WHEREAS, the Planning Department of the City of Elk Grove received an application on September 4, 2008 from MAM Design Build (the "Applicant") requesting a Rezone, Design Review, Variance, and Minor Deviation for the BP Arco Project (the "Project"); and

WHEREAS, the proposed Project is located on real property in the incorporated portions of the City of Elk Grove more particularly described as Assessor's Parcel Number 132-0410-040; and

WHEREAS, the Project qualifies as a project under the California Environmental Quality Act (CEQA), Public Resources Code sections 21000-21178 but is exempt; and

WHEREAS, Section 15332 (In-Fill Development Projects) of Title 14 of the California Code of Regulations, Chapter 3, Division 6 (State CEQA Guidelines) provides an exemption from CEQA for projects that are categorized as in-fill development; and

WHEREAS, Section 15183 (Projects Consistent with a Community Plan, General Plan, or Zoning) of Title 14 of the California Code of Regulations, Chapter 3, Division 6 (State CEQA Guidelines) provides an exemption from CEQA for projects that are consistent with the applicable General Plan and Zoning for which an Environmental Impact Report (EIR) was certified; and

WHEREAS, the 0.63 acre site accommodates an existing service station within the City limits surrounded by other commercial uses on a site that has no value as habitat for endangered, rare, or threatened species; and

WHEREAS, based on staff's review of the Project, no special circumstances exist that would create a reasonable possibility that granting a Design Review, Variance, and Minor Deviation for this Project will have a significant effect on the environment beyond what was previously analyzed and disclosed; and

WHEREAS, an EIR was certified by the City Council for the adoption of the City of Elk Grove General Plan (SCH 2002062082) which identified the Project site as Commercial; and

WHEREAS, the Planning Department considered the Project request pursuant to the Elk Grove General Plan, the Elk Grove Municipal Code Title 23 (Zoning), and all other applicable State and local regulations; and

WHEREAS, the Planning Commission considered the Applicant's request at a public hearing on November 17, 2011 and recommended the City Council approve the Project; and

WHEREAS, the City Council is the appropriate authority to hear and take action on this Project after a recommendation by the Planning Commission; and

WHEREAS, the City Council held a duly noticed public hearing as required by law to consider all of the information presented by staff, information presented by the Applicant, and public testimony presented in writing and at the meeting.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Elk Grove hereby approves the Design Review, Variance, and Minor Deviation for the BP Arco Project (EG-08-060) (the "Project") subject to the conditions of approval contained in Exhibit A, incorporated herein by this reference, and as illustrated in Exhibit B, incorporated herein by this reference, based on the following findings:

General Plan

Finding: The proposed Project is consistent with the goals and policies of the Elk Grove General Plan.

Evidence: The propose Project is consistent with the commercial land use designation in the General Plan. The proposed zoning complies with the description provided within the General Plan for commercial land use designation.

Rezone

Findings: The proposed rezone is consistent with the General Plan goals, policies, and implementation programs.

Evidence: The proposed rezone from LC (Limited Commercial) to SC (Shopping Center) is consistent with the description provided in Land Use Policy LU-2 and LU-3. Therefore, the rezone complies with the goals and policies of the General Plan.

Design Review

Finding #1: The proposed Project is consistent with the objectives of the General Plan, complies with applicable Zoning regulations, Specific Plan provisions, Special Planning Area provisions, Citywide Design Guidelines, and Improvement Standards adopted by the City.

Evidence #1: The site plan and building elevations have been reviewed in accordance with the General Plan, Zoning Code, and Citywide Design Guidelines, and it is concluded that the Project's architecture and site planning meet all applicable development standards, along with approval of a Variance and Minor Deviation. The

proposed elevations have been designed to be distinctive but compatible with the surrounding commercial buildings in regard to scale, architectural style, and bulk, which is consistent with the requirements of the Guidelines. The elevations utilize glass, plaster, and fabric awnings. There will be a variety of landscaping materials concentrated on the perimeter of the site to screen the service station from the surrounding uses and minimize the amount of concrete used on site. The Project has a clear design concept which is carried through to all elements of the Project. Additionally, the Project is subject to conditions of approval that will ensure consistency with all standard requirements.

Finding #2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence #2: The proposed site plan and building elevations provide all design elements required by the Citywide Design Guidelines and Zoning Code, including consistent detailing of the architectural style, providing sufficient pedestrian connectivity, and application of a consistent color palette throughout the Project.

Finding #3: The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence #3: The proposed elevations have been designed to be distinctive but compatible with the surrounding commercial buildings in regard to scale, architectural style, and bulk, which is consistent with the requirements of the Guidelines. The elevations utilize glass, plaster, and fabric awnings. There will be a variety of landscaping materials concentrated on the perimeter of the site to screen the service station from the surrounding uses and minimize the amount of concrete used on site.

Finding #4: The proposed Project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence #4: The proposed Project includes pedestrian access, distinguished with special paving, from the canopy to the mini-mart, as well as a pedestrian pathway from the mini-mart to Elk Grove Boulevard. Access to the site will be from two driveways that currently exist on Elk Grove Boulevard. Public Works has required the existing driveways to be modified. The new driveway configuration includes two restricted driveways: 1) a right-in only and 2) a right-in and right-out only, which will ensure adequate traffic flow from Elk Grove Boulevard. The Project has been conditioned to design and construct a right turn pocket onto State Highway 99 southbound as well as construct a new sidewalk along the adjacent parcels to the west of the Project site to provide a connection with the existing sidewalk along Elk Grove Boulevard.

Variance

Finding #1: That there are special circumstances applicable to the property, including size, shape, topography, location or surroundings, such that the strict application of this Title deprives such property of privileges enjoyed by other property in the vicinity and under identical land use zoning district classifications.

Evidence #1: Currently, the existing service station is a legally nonconforming use. With the expansion and architecture improvements, the project is subject to current Zoning Code standards. The need for a Variance is related to the size and topography of the lot, location, and surroundings. The lot has a steep grade due to the adjacent overpass which reduces the buildable area on the lot. The Variance is also necessary to allow for the circulation of the onsite traffic and accommodate fuel tanker and fire truck turning radius requirements. This request provides the opportunity to improve the facilities while allowing the business to continue operation as a service station. The City Council approved a similar Variance for the Elk Grove 76 Gas Station across the street from the Project site. The proposed project will improve the existing facilities while providing a safe environment, consistent with the surrounding uses.

Finding #2: Granting of the Variance does not constitute a special privilege inconsistent with the limitations upon other properties in the vicinity and land use zoning district in which such property is located.

Evidence #2: The existing service station submitted to redesign the building and canopy to update the features to be consistent with surrounding uses. The size of the lot is limited and to accommodate the radius request for tanker trucks and fire trucks, the building must be setback. The City Council approved a similar Variance for the Elk Grove 76 Gas Station across the street from the Project site. The proposed project will improve the existing facilities while providing a safe environment, consistent with the surrounding uses. Therefore, the approval of this Variance does not grant a special privilege inconsistent with limitation upon other properties in the vicinity and zoning which the property is located in.

Finding #3: Granting of the Variance will not adversely affect the interests of the public or the interests of residents and property owners in the vicinity of the premises in question.

Evidence #3: Currently, the site accommodates a service station. The proposed project is to expand and update the design of the building and canopy. The proposed project complies with the Zoning Code and Design Guidelines. Due to the size of the lot and complying with access for tanker and fire trucks, the setbacks must be reduced, but will not affect the interests of the public given the location (nearest residential use is approximately 1,000 feet and across the street behind Wal-Mart).

Finding #4: Granting of the Variance is consistent with the objectives of the General Plan and Zoning Code.

Evidence #4: Granting of the Variance would allow an existing service station to be redesigned consistent with General Plan Policy ED-3, which encourages the "full and efficient utilization of vacant and underutilized parcels." The Variance provides the opportunity to improve the facilities while allowing the business to continue operation as a service station.

Minor Deviation

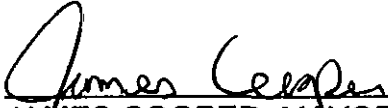
Finding #1: The deviation improves the site, architectural, and/or overall Project design.

Evidence #1: The proposed increase from a 15 to a 16 foot canopy clearance height will improve the overall traffic site design maneuverability and increase the architectural visibility of the building.

Finding #2: The deviation is materially consistent with the Project and is compatible with surrounding uses and structures.

Evidence #2: The proposed minor deviation to increase the maximum allowed canopy clearance height by one foot is compatible with the height of surrounding structures and uses. The design of the canopy is consistent with the proposed design, colors, and materials of the mini-mart building. Additionally, the increased canopy clearance height will enhance the architectural visibility of the building.

PASSED AND ADOPTED by the City Council of the City of Elk Grove this 14th day of December 2011.



JAMES COOPER, MAYOR of the
CITY OF ELK GROVE

ATTEST:



JASON LINDGREN, CITY CLERK

APPROVED AS TO FORM:



JONATHAN HOBBS,
INTERIM CITY ATTORNEY

	<u>Conditions of Approval</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>	<u>Verification (date and Signature)</u>
On Going				
1.	<p>The development approved by this action is for a Rezone, Design Review, Variance, and Minor Deviation as illustrated in the approved plans as follows (Exhibit B):</p> <ul style="list-style-type: none"> • Site Plans (received June 16, 2011) • Elevations (received June 16, 2011) <p>Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
2.	<p>The Applicant or Successors in Interest (hereby referred to as the Applicant) shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.</p>	On-Going	Planning	
3.	<p>An encroachment permit will be required for any work performed within the State right of way.</p>	On-Going	Caltrans	
Improvement Plan				
4.	<p>The following notes shall be required as notes on all improvement plans, grading plans, and construction plans:</p> <ul style="list-style-type: none"> • "The Planning Division shall be notified immediately if any prehistoric, archaeological, or paleontological artifact is uncovered during construction. All construction must stop and an archaeologist that meets the Secretary of the Interior's Professional Qualifications Standards in prehistoric or historical archaeology shall be retained to 	Shown on improvement plans, grading plans, and construction plans	Planning	

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
	<p>evaluate the finds and recommend appropriate action.”</p> <ul style="list-style-type: none"> • “All construction must stop if any human remains are uncovered, and the County Coroner must be notified according to Section 7050.5 of California’s Health and Safety Code. If the remains are determined to be Native American, the procedures outlined in CEQA Section 15064.5 (d) and (e) shall be followed.” 			
5.	<p>The Applicant shall prepare and submit a Post-Construction Stormwater Quality Control Plan in accordance with the most recent version of the <i>Stormwater Quality Design Manual</i> for the Sacramento Region. Post-construction source and treatment controls shall be designed in accordance with the City of Elk Grove Improvement Standards and the <i>Stormwater Quality Design Manual</i>. The design of post-construction source and treatment controls shall be submitted for approval with the improvement plans regardless of whether they constitute private or public improvements. A separate maintenance manual describing proper maintenance practices for the specific treatment controls to be constructed shall also be submitted and accepted by the City.</p>	Improvement Plans	Public Works	
6.	<p>The Applicant shall execute a maintenance agreement for stormwater quality control treatment devices to the satisfaction of Public Works.</p>	Improvement Plans	Public Works	
7.	<p>Applicant shall prepare and submit a comprehensive drainage study and plan that includes, but is not limited to: definition with mapping of the existing watersheds; a detailed pre- and post-project hydrologic and hydraulic analysis of the project and project impacts; definition of the local controlling 100-year frequency water levels existing and with project; the proposed method of flow conveyance to mitigate the potential project impacts with adequate supporting calculations; any proposed improvements to mitigate the impacts of increased runoff</p>	1 st Improvement Plan Submittal or Prior to Issuance of Grading Permit(s)	Public Works	

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	<p>from the project and any change in runoff; including quality, quantity, volume, and duration to the satisfaction of Public Works and in accordance with City of Elk Grove-Improvement Standards, General Plan, and any specific, area, or master plans. The study shall be prepared and stamped by a licensed civil engineer.</p>			
8.	<p>The Applicant shall locate the proposed drain inlet outside of the existing Elk Grove Blvd right-of-way to the satisfaction of Public Works.</p>	Improvement Plan	Public Works	
9.	<p>Fills over 2 feet shall be identified on the grading plans and require Public Works approval.</p>	Improvement Plan	Public Works	
10.	<p>The project shall meet all requirements of the City's Water Efficient Landscape Chapter 14.10 of the City of Elk Grove Municipal Code.</p>	Improvement Plan	Landscape/ Planning	
11.	<p>Landscape Improvement Plans shall be submitted with Civil Improvement Plans for public works review/approval prior to issuance of any site demolition/construction permits.</p>	Improvement Plan	Landscape/ Planning	
12.	<p>Please make the following revisions on the improvement plan submittal: C-2.1 Demolition Plan 1. Replace the Mitigation of Existing Oak Trees table with a general sheet note to refer to Landscape Notes & Details sheet LS-3.0 for mitigation of existing oak trees to be removed. L-1.0 Landscape Plan 2. Symbols for all new trees shall be sized to indicate the shade canopy coverage as noted in the Plant Legend on sheet LS-3.0. Symbols shall be corrected prior to submittal of Improvement Plans for review by Public Works. 3. Clearly indicate on the plan drawing that the Xylosma adjacent to the trash enclosure are the ones to be planted at</p>	Improvement Plan	Landscape/ Planning	

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	<p>15 gallon size, versus 5 gallon elsewhere on the plan.</p> <p>4. Eliminate groundcover hatch from the walkway connection to the street right-of-way.</p>			
13.	<p>Screening shrubs shall be provided to screen the retaining wall along the South and West perimeter of the property as indicated in the attached exhibits. Screening shrubs shall be provided to screen the East face of the trash enclosure as indicated in the attached exhibits. All shrubs proposed as screening shrubs shall be planted at 15 gallon container size.</p>	Improvement Plan	Landscape/ Planning	
14.	<p>Exposed portions of the concrete retaining wall along the South and West edges of the site shall receive decorative treatment, such as addition of texture and/or color, to limit the visual impact on the view from South and West of the property. Decorative treatment proposed shall be reviewed/approved by the Planning Director during Public Works review.</p>	Improvement Plan	Landscape/ Planning	
15.	<p>Planting shall be provided and maintained as part of the decorative treatment along the East face of the proposed building as indicated in the approved plans.</p>	Improvement Plan	Landscape/ Planning	
16.	<p>Perimeter screening trees shall be located to limit or avoid potential conflicts with on-site lighting as indicated in the approved plans.</p>	Improvement Plan	Landscape/ Planning	
17.	<p>Parking lot shall include two finger island planters as indicated in the approved plans. Minimum inside dimensions (not including border curb) shall be 6' in width and 18' in length.</p>	Improvement Plan	Landscape/ Planning	
18.	<p>Project specifications shall incorporate the recommended specifications previously provided by the City Consulting Arborist for demolition, pruning and construction. Applicant may submit alternative specifications for these items for review and approval by Public Works prior to issuance of any permits for construction on-site.</p>	Improvement Plan	Landscape/ Planning	
19.	<p>Applicant shall mitigate for the removal of existing Oak Trees</p>	Improvement	Landscape/	

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	<p>identified in the attached Memo (Exhibit A-1.) from Tree Associates dated October 13, 2011, pursuant to the requirements of the Municipal Code and to the satisfaction of the Planning Director.</p>	Plan	Planning	
20.	<p>The following notes shall be included on the improvement plans:</p> <p><u>Tree Preservation Notes</u></p> <ol style="list-style-type: none"> 1. Wherever possible the project should avoid grading, compaction, trenching or any other disturbance in the protection zones of the trees. This may require the use of retaining walls, boring trenches under tree root zones or other construction techniques which are not currently shown in the construction plans. 2. Where construction is necessary within the protection zones of trees, follow recommended mitigation found in attached table and/or consult with City Consulting Arborist to develop designs/techniques which minimize injury to subject trees. 3. Conduct a meeting to discuss these tree preservation guidelines with all contractors and subcontractors and project managers prior to the initiation of construction. 4. Prior to any demolition activity on site, identify (tagged) trees to be preserved and install tree protection fencing in a circle centered at the tree trunk with a radius equal to the defined tree protection zone (see table) or as far from the trunk as possible. Tree protection fences should be made of chain link with posts sunk into the ground. These fences should not be removed or moved until construction is complete. No soil, material storage, spoil, waste or washout water shall be 	Improvement Plan	Landscape/ Planning	

	<u>Conditions of Approval</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>	<u>Verification (date and Signature)</u>
	<p>deposited within the fenced areas.</p> <p>5. Any work that is to occur within the protection zones of the trees should be monitored by the Consulting Arborist.</p> <p>6. If injury (roots larger than 1" diameter or limbs larger than 3 inches cut or damaged) should occur to any tree during construction, the Consulting Arborist should be contacted as soon as possible to inspect and recommend appropriate treatments.</p> <p>7. Any pruning required for construction should be performed by an ISA Certified Arborist or Tree Worker.</p> <p>8. All trees to be preserved should be irrigated on a weekly basis during summer months to wet the soil to a depth of at least 18 inches under and beyond their canopies.</p>			
21.	<p>Internal pedestrian walkways shall be distinguished from driving surfaces through the use of raised sidewalks, special pavers, brings, or scored/stamped concrete.</p>	Improvement Plans	Planning	
22.	<p>The excavator shall call USA when requesting PG&E to locate and mark gas pipe. The Applicant shall request field meeting with PG&E (via the USA comment section) to discuss the proposed work and to confirm PG&E contact number for standby.</p>	Prior to excavation near the gas transmission facilities	PG&E	
23.	<p>A PG&E standby person is required to be on site whenever excavation is within 5-foot from the edge of the pipe. Excavator to call PG&E at (916) 386-5135 48-hours in advance to request inspector to standby.</p>	Prior to excavation near the gas transmission facilities	PG&E	

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
24.	Prior to using any power operated equipment, the approximate location of the pipe must first be determined by hand excavation or careful probing. Probe at right angles to the pipe at a depth of 24 inches and at spacing no greater than the initial probing or hand excavation, then excavation by power-operated equipment will be permitted to a depth 12 inches less than the actual probing or hand dug depth. Hand digging is required within 12 inches from the pipe.	Prior to excavation near the gas transmission facilities	PG&E	
	Building Permit			
25.	Improvement plans shall be approved by Public Works prior to 1 st Building Permit.	Building Permit	Public Works	
26.	The Applicant shall replace all handicap ramps adjacent to the project site, and other conditioned improvement herein, that do not meet current ADA Standards. All new handicap ramps shall be constructed to the satisfaction of Public Works.	Building Permit	Public Works	
27.	The Applicant shall reconstruct any deteriorated curb, gutter, sidewalk and/or pavement along the project's frontage to the satisfaction of Public Works. If pavement replacement is required, the Applicant may be required to grind, overlay, and/or slurry seal pursuant City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Building Permit	Public Works	
28.	The Applicant shall design and construct a right turn pocket onto State Route 99 southbound in accordance with City of Elk Grove Improvement Standards and to the satisfaction of Public Works. The Applicant shall note that this work requires the signal to be modified and relocated. The design of the right turn pocket will be evaluated at Improvement Plan.	Constructed Prior to Issuance Building Permit	Public Works	
29.	The Applicant shall design and construct the sidewalk along Parcel 132-0410-005 and Parcel 125-0030-027 adjacent to Elk Grove Blvd. in accordance with City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Building Permit	Public Works	

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
30.	The Applicant shall design and construct the vertical curb along the project frontage adjacent to Elk Grove Blvd. in accordance with City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Building Permit	Public Works	
31.	The Applicant shall obtain the appropriate clearance letters from the applicable entities for any sign located within an easement, including a Public Utility Easement.	Building Permit	Public Works	
32.	The Applicant shall obtain the appropriate permits / right-of-entry for all off-site work to the satisfaction of Public Works.	Building Permit	Public Works	
33.	The Applicant shall design and construct the easterly driveway such that the driveway is an entrance only to the satisfaction of Public Works.	Building Permit	Public Works	
34.	If the planter and the monument sign, on Elk Grove Blvd, are located within the right-of-way the Applicant shall execute an agreement, to the satisfaction of Public Works, for the maintenance of the planter and the monument sign.	Building Permit	Public Works	
35.	All retaining walls within 8 feet of the project boundary shall be either masonry or concrete pursuant the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Building Permit	Public Works	
36.	The Applicant shall obtain a building permit for all retaining walls exceeding 24-inches in height unless the construction details are shown on approved improvement plans.	Building Permit	Public Works	
37.	The Applicant shall dedicate a 12.5-foot utility easement to the City of Elk Grove for underground and overhead facilities and appurtenances adjacent to all public streets where such easements do not already exist.	Building Permit	Public Works	
38.	Connection to the Sacramento Area Sewer District (SASD) sewer system shall be required to the satisfaction of SASD. SASD Design Standards apply to sewer construction.	Building Permit	SASD	
39.	Each lot and each building with a sewage source shall have a	Building Permit	SASD	

	<u>Conditions of Approval</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
	separate connection to SASD sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel shall have a separate connection to a private on-site sewer line or SASD public sewer line.			
40.	Obtain a minimum 10-foot wide private sewer service easement, if necessary, across the adjoining parcel to existing SASD sewer collector on the west.	Building Permit	SASD	
41.	Developing this property will require payment of sewer impact fees to both SASD and SRCSD, in accordance with each District's requirements .	Building Permit	SASD	
42.	The door on the south of the store shall be fitted with a self locking door making it impossible to open from the outside and also the door should be equipped with an alarm to notify cashier if opened from the inside.	Building Permit	Police Department	
43.	A camera shall be located to monitor the exterior area of the store to prevent loitering.	Building Permit	Police Department	
44.	The inside camera shall be in a position to monitor the ATM and rest rooms or the shelving shall be limited to four feet in height to allow the cashier to monitor these areas.	Building Permit	Police Department	
45.	All design plans shall be prepared by an Architect/Engineer licensed in the State of California and comply with design requirements of the new 2010 California Building Code (CBC), 2010 California Plumbing Code (CPC), 2010 California Mechanical Code, 2010 California Electrical Code (CEC), 2010 California Energy Code, 2010 California Fire Code & 2010 California Green Building Standards Code, effective January 1, 2011.	Building Permit	Building Department	
46.	Portions of the North and East exterior walls of the Am/Pm Food Mart Building appear to be on or near enough to a property line requiring 1 or 2 hour wall construction with parapet or other acceptable means of providing the required wall construction that will	Building Permit	Building Department	

	<u>Conditions of Approval</u>	<u>Timing/Implementation</u>	<u>Enforcement/Monitoring</u>	<u>Verification (date and Signature)</u>
	comply with the of the <u>2010 CBC, Table 602.</u>			
47.	Separate permit numbers will be assigned to the Am/Pm Food Mart Building and Gas Pump Canopy Structure and <u>Site Retaining Wall (plan reviewed to be performed by the Public Works Department).</u>	Building Permit	Building Department	
48.	Separate permit submittals will be required for all exterior building/canopy signage and site monument/pylon signs and any other peripheral mechanical equipment, tanks, etc.	Building Permit	Building Department	
49.	Site Plan shall properly delineate all required methods of "accessible paths of travel" from all doors (exits/entrances) around the Am/Pm Food Mart Building to accessible parking stalls, gas pumps and the "public right of way" by way of the most direct route. <u>2010 CBC, Sections 1114B.1.2, 1127B.1 & 1129.3.3</u>	Building Permit	Building Department	
50.	Site Plan shall properly delineate approved detectable warning strips at all proper locations required for " <u>accessible paths of travel</u> " to handicap parking stalls and across " <u>vehicular paths of travel</u> " to the fuel island area. <u>Note: All disabled access and site accessibility requirements shall comply with Chapter 11B of the 2010 CBC.</u>	Building Permit	Building Department	

General Compliance Items for Building Permit

The following items are standard fire department comments clearly addressed in policy and guidelines. This information is provided only to clarify the scope of requirements typical for most individual projects. Specific requirements may vary and will be clarified in the plan checking/plan review process prior to each project:

1. Dead-end streets in excess of 150 feet require emergency vehicle turn-around.
2. Any and all gates impeding fire lanes or roadways shall comply with Appendix VII of the 2002 Sacramento County Fire Code.
3. All civil engineering plans are required to be submitted in an electronic format. When plans are ready for final signature, it is required that the engineering firm submits an electronic copy of the complete plan as it appears in the approved printed plans with addresses. All electronic formats will be submitted on Windows/DOS formatted diskettes, zip disks or on compact disk (CD). E-mailed copies will not be accepted at this time. Electronic formats can be submitted in either of the following data transfer formats listed below:

DXF (Drawing Interchange file) any DXF version is accepted

DWG (Applies to AUOCAD drawing file) any AutoCAD DWG version is accepted

4. All commercial buildings, in excess of 3,599 square feet shall be equipped with an approved automatic fire sprinkler system.
5. Commercial developments in excess of 10,000 square feet require looped fire mains of a minimum of ten (10) inch diameter to supply fire hydrants spaced at a maximum of 300-foot intervals. This on-site fire main shall be connected to the municipal water main at not less than two (2) points.
6. This development is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure in commercial areas and 50 PSI static pressure. Buildings of certain types of construction, size, and use may need additional fire flow or the application of mitigating efforts to meet fire flows above this minimum.
7. All required roadways, street signs, addresses, water mains, fire hydrants, and fire flows shall be provided prior to the existence of any combustible construction or storage. The slope of access roadways shall not exceed 10% for asphalt and 5% for concrete. The roadways shall be constructed to a 20-foot minimum width of three (3) inches AC over six (6) inches AB with good drainage.
8. CCSDFD approved traffic pre-emption devices of a type approved by the Cosumnes Fire Department shall be installed on all traffic signal devices erected or

modified by this development. These devices shall be installed and functioning prior to any occupancy and at no cost to the Cosumnes Fire Department.

9. Required fire alarm systems shall be connected to a UL listed central station approved by the Sacramento County Regional Communications Center.
10. The installation of on-site or off-site fire protection equipment including fire hydrants and water mains shall meet the standards of the Cosumnes Fire Department and the water purveyor having jurisdiction.
11. The installation of roadway gates, addresses, landscaping, pipe bollards, fuel tanks, masonry sound walls tree wells and/or all other traffic calming devices is subject to standards outlined by the Cosumnes Fire Department. All proposed traffic-mitigation plans shall be submitted to the Cosumnes CSD Fire Department for review and approval prior to installation.

General Information and Compliance Items:

The following items are noted for the Applicant's information. These items are required by other local agencies, the City, state or federal agencies, and are not conditions of approval of the project.

- a. The Applicant shall design and construct all improvements in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works.
- b. If there are any discrepancies between the approved site plan and the conditions of approval, the conditions of approval shall supersede the approved site plan. (Public Works)
- c. The Applicant shall pay all appropriate development fees charged by the City and other Special Districts providing services to the site. (Public Works)
- d. Any improvements, public or private, damaged during construction shall be replaced, by the applicant, in-kind or with new improvement. (Public Works)
- e. The Applicant shall design and construct all driveways in accordance with Section 4-10 of the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.
- f. Street (trench) cuts into existing streets require a separate encroachment permit and the payment of street cut fees by the Applicant. Where multiple street cuts into the same street occur, a single, final surface (pavement) trench repair over all the trench cuts is required. Pavement grinding is required for the full length and width of the trenches. (Public Works)
- g. Improvement related conditions can be satisfied by completing an approved design, executing an improvement agreement, and providing suitable financial security (e.g. bonds, letter of credit, etc), all to the satisfaction of the City, prior to the implementation timing required by the condition. (Public Works)
- h. All driveways and intersections shall conform to the visibility easement requirement in the City of Elk Grove Improvement Standards. (Public Works)

- i. The Applicant shall submit and obtain City approval of plans and specifications for the construction of public improvements and all grading. The drainage system shall be designed in accordance with the accepted Drainage Study to accommodate runoff from the ultimate development and shall meet the City of Elk Grove Improvement Standards, construction standards, storm water design standards, and City of Elk Grove Flood Plain Management Plan and Ordinance in effect at the time of Improvement Plan approval. Street gutter flowlines shall be designed to be above the 10-year frequency flood elevation pursuant to the Floodplain Management Plan. (Public Works)
- j. The Applicant shall complete grading and construct all on-site and off-site drainage improvements in accordance with the approved Improvement Plans. (Public Works)
- k. The Applicant shall comply with the regulations of the Federal Emergency Management Agency (FEMA) and the City of Elk Grove Flood Plain Management Ordinance. The lowest finished floor elevation for a habitable building will be a minimum of 1 (one) – foot above the 100-year frequency water level, certified by a registered Civil Engineer or licensed Land Surveyor, and submitted to the City. Amendments and/or revisions of FEMA flood insurance rate maps will be required for all development located in the federal or local flood zone. All FEMA map revisions (both CLOMR and LOMR) must be approved by the City and fully processed through FEMA. Completed revisions shall be placed on file with the City. (Public Works)
- l. The Applicant shall prepare a Storm Water Pollution and Prevention Plan (SWPPP) to be executed through all phases of grading and project construction. The SWPPP shall incorporate Best Management Practices (BMPs) to ensure that potential water quality impacts during construction phases are minimized. These measures shall be consistent with the City's Improvement Standards and the Land Grading and Erosion Control Ordinance. The SWPPP shall be submitted to the Central Valley Regional Water Quality Control Board for approval and to the City for review. During construction, the applicant shall implement actions and procedures established to reduce the pollutant loadings in storm drain systems. The project applicant shall implement Best Management Practices (BMPs) in accordance with the SWPPP and the City of Elk Grove Improvement Standards. (Public Works)
- m. In order to mitigate erosion and sediment control problems on the project site, the project shall comply with the City's Land Grading and Erosion Control Ordinance. If the project size is more than one acre, a Notice of Intent (NOI) shall be filed to obtain coverage under the California State Water Resources General Construction Activity Storm Water Permit. Permits are issued by the State Water Resources Control Board, which can provide all applicable information to complete and file the necessary documents. Applicant shall comply with the terms of the general construction permit, the City of Elk Grove Municipal Code, and the NPDES Waste Discharge Requirements for the City of Elk Grove Municipal Storm Sewer Discharges. (Public Works)
- n. The Applicant shall obtain applicable California Department of Fish and Game, U.S. Army Corps of Engineers, and other required state and federal permits. The conditions of such permits must be reviewed and considered acceptable by the



PROFESSIONAL CONSULTING ARBORISTS

MEMO

To: Sarah Kirchgessner, Senior Planner, City of Elk Grove
From: Kelly McGlothlin, ISA Certified Arborist #8324
Date: October 13, 2011
Re: EG-08-060, BP Arco Renovation, Elk Grove, CA

Summary

Tree Associates was asked to review three sheets included with the most recent submittal plans for the BP Arco Renovation in the City of Elk Grove. This memo summarizes my findings.

Comments Regarding Proposed Tree Mitigation

The diameters stated on the "Remove Tree List" on Sheet LS-3.0 did not agree with diameters stated in our Arborist Report dated December 23, 2010, therefore there is a discrepancy in the total number of tree inches for which mitigation is required. On the section titled "Mitigation of Existing Oak Trees to be Removed," also on Sheet LS-3.0, it states that tree #22 is not included in the list of trees for which to mitigate due to poor health. However, in our Arborist Report, we indicated that tree #22 was suitable for preservation. Please refer to the attached table.

Alternative mitigation is required for trees #2, 18, and 21, which states that a new tree (minimum 15-gallon container) be planted in place of the removed tree. However, in my opinion, there is no feasible space remaining on the project property for three additional trees, and therefore, according to Section 19.12.180 of the TPP, no mitigation will be required for these trees.

Calculations based on our Arborist Report dated 12/23/10 indicate that the total number of tree diameter inches for which mitigation is required is 164. On the section titled "Mitigation of Existing Oak Trees to be Removed," (LS-3.0), it indicates that 14 24-inch box oaks will be planted. Mitigation standards indicate that "mitigation for the loss shall be provided at a ratio of one new inch dbh of tree for each inch of dbh lost." According to Section 19.12.170, one 24-inch box is equivalent to two (2") inches of dbh. Therefore, 14 24-inch boxes total 28 inches of dbh. The remaining number of inches for which mitigation is required totals 136. The current in-lieu fee per inch of dbh for the loss of trees is currently \$200, but is subject to change. The in-lieu fee for 136 inches would therefore total \$27,200.

Tree #	Diameter (MAM)	Diameter (Tree Associates Report 12/23/10)	Comments
1	22	22	
2	N/A		Alternative mitigation required.
3	12	14	
4	7	7	
5	7	7	
6	N/A		No mitigation required (not a Tree of Local Importance).
7	16	16	
8	12	14	
9-13	N/A		Off-site trees.
14	N/A		No mitigation required (not a Tree of Local Importance).
15	10	15	
16	8	7	
17	10	12	
18	N/A		Alternative mitigation required.
19	10	13	
20	10	12	
21	N/A		Alternative mitigation required.
22	Not included	12	
23	6	13	
24	N/A		No mitigation required (not a Tree of Local Importance).
Total Diameter Inches	130	164	

Please do not hesitate to contact me if you have any questions about this memorandum.

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hassounieh_jr@yahoo.com

FUND HASSOUNIEH
Contract # 11-00000



PROJECT MANAGER
MANZAR QAYYUM

PROPOSED

NEW
ARCO AM/PM
GAS STATION

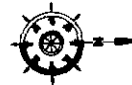
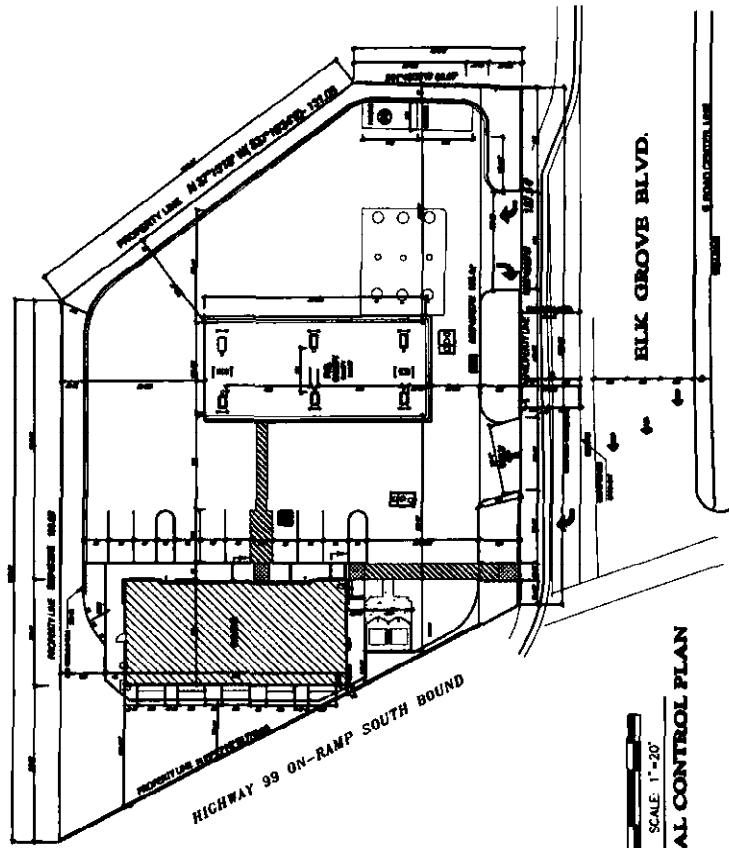


8500 ELK GROVE BLVD,
ELK GROVE, CA 95758

SHEET TITLE

HORIZONTAL
CONTROL PLAN

Date: 05/10/11
SHEET: **C-2.0**



SCALE: 1"=20'

HORIZONTAL CONTROL PLAN



PROPOSED

NEW
ARCO AM/PM
GAS STATION



1500 ELK GROVE BLVD.
ELK GROVE, CA 95758

SHEET TITLE

DEMOLITION PLAN

Sheet Date
05/10/11

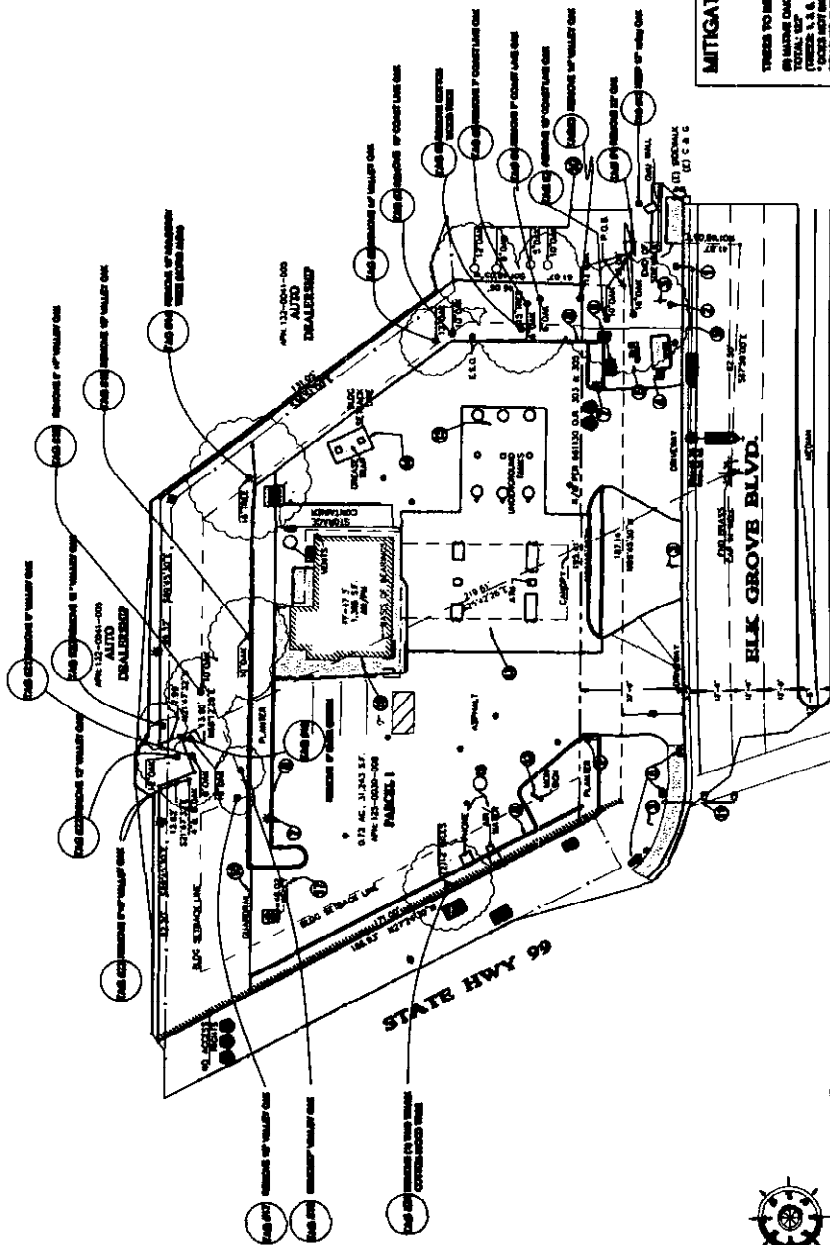
C-2.1

PLAN NOTES

1. (SOLID) ELECTRICAL PULL BOX TO BE RELOCATED
2. (SOLID) ELECTRICAL PULL BOX TO BE RELOCATED
3. (Dashed) CHEMICAL SIGN TO REMAIN IN PLACE
4. (Dashed) SERVICES TO BE RELOCATED
5. (Dashed) PHONE/ELECTRICAL CENTRAL PANEL TO BE RELOCATED
6. (SOLID) ELECTRICAL PANEL TO REMAIN
7. LIGHT POLE TO REMAIN IN PLACE
8. AC CASE TO BE REMOVED
9. CASO TO BE REMOVED
10. OFF-SITE OAK TREE TO REMAIN (SBS 8-10)
11. (Dashed) SIGNAL LIGHT TO BE REMOVED
12. MONUMENT SIGN TO BE RELOCATED
13. (S) CHIMNEY AND PUMPS TO BE REMOVED
14. GREASE TRAP
15. UNDERGROUND TANKS TO REMAIN
16. CURB/CANAL TO BE SALVAGED
17. WELL TO BE ABANDONED
18. BUILDING TO BE DEMOLISHED
19. AIR WATER TO BE RELOCATED
20. ELECTRICAL PANEL TO BE RELOCATED

MITIGATION OF EXISTING OAK TREES TO BE REMOVED

TREES TO BE REMOVED
 100 SQUARE FEET
 TOTAL TCF
 (PROVIDE 1.5 X 6.0 X 17.0 IN. BLOCK 24
 PER TREE TO BE REMOVED)
 APPROVED BY THE CALIFORNIA
 FORESTRY BOARD



DEMOLITION PLAN
SCALE 1"=20'

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FUAD HASSOULAH
Engineer of Record



PROJECT MANAGER
MANZAR QAYYUM

PROPOSED

NEW ARCO AM/PM GAS STATION

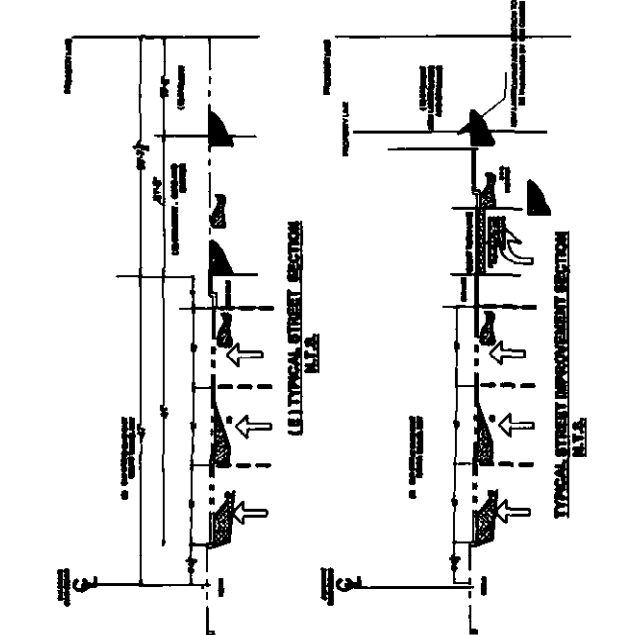


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ELK GROVE, CA 95758**

SHEET TITLE

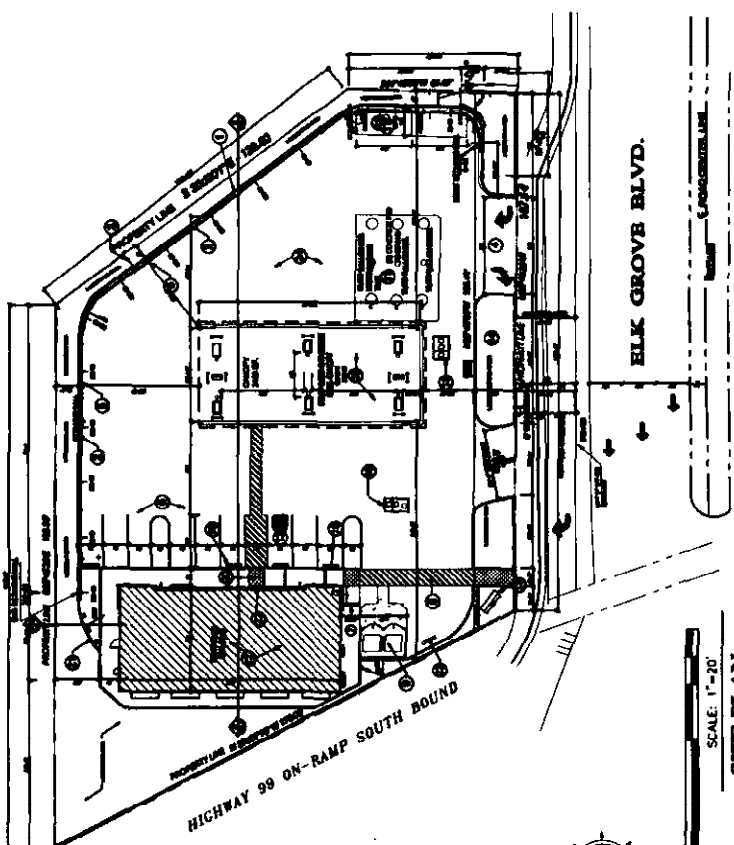
SITE PLAN

Sheet Date
05/10/11
C-3.0

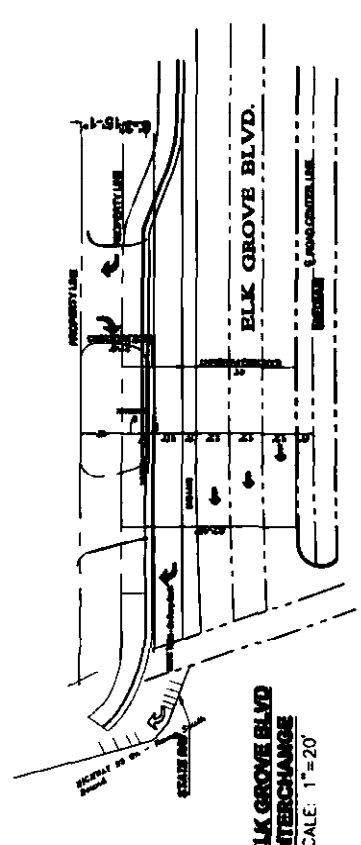


SITE PLAN NOTES

- 1 METAL RAILING
- 2 BURNING WALL
- 3 LANDSCAPING & PLANTER AREA (SEE TYP LOG)
- 4 NEW 12' DRIVEWAY (See Standard Details Sheet 11)
- 5 AC CURB SEE DETAIL
- 6 PARKING STALL FOOT
- 7 4'-6" CONCRETE WIDE WALK
- 8 TRAVEL PATH OF WAY TO PUBLIC (See Details Sheet 12)
- 9 TRASH ENCLOSURE (See Details Sheet 13)
- 10 12'-6" STEEL CANOPY FRAME LIMIT ABOVE (See Street Occupancy Plans)
- 11 600 PSL TANKS & CONCRETE TO REMAIN
- 12 PROPOSED BUILDING
- 13 ACCESSIBLE PARKING (See 14)
- 14 4" ASA CONCRETE PLANTER (See Details Sheet 15)
- 15 NEW MONUMENT SIGN (See Details Sheet 16)
- 16 600 GAL. OIL SEPARATION BY JENSEN PRODUCT
- 17 NEW AIR WATER LOCATION
- 18 1200 OIL SAND INTERCEPTOR BY JENSEN PRODUCT
- 19 WHEEL STOPPER (See Detail Sheet 17)
- 20 TRUNCATED CURB (See Details Sheet 18)
- 21 GUARD RAIL (See Details Sheet 19)
- 22 HANDICAP RAMP (See Details Sheet 20)
- 23 BICYCLE PARKING INCK
- 24 NEW RE-SURFACE AC AREA



SITE PLAN
SCALE: 1"=20'



ELK GROVE BLVD INTERCHANGE
SCALE: 1"=20'



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 Engineer of Record



JANISZE GAYTIM
 PROJECT MANAGER

PROPOSED

ALCO AM/FM
 GAS STATION



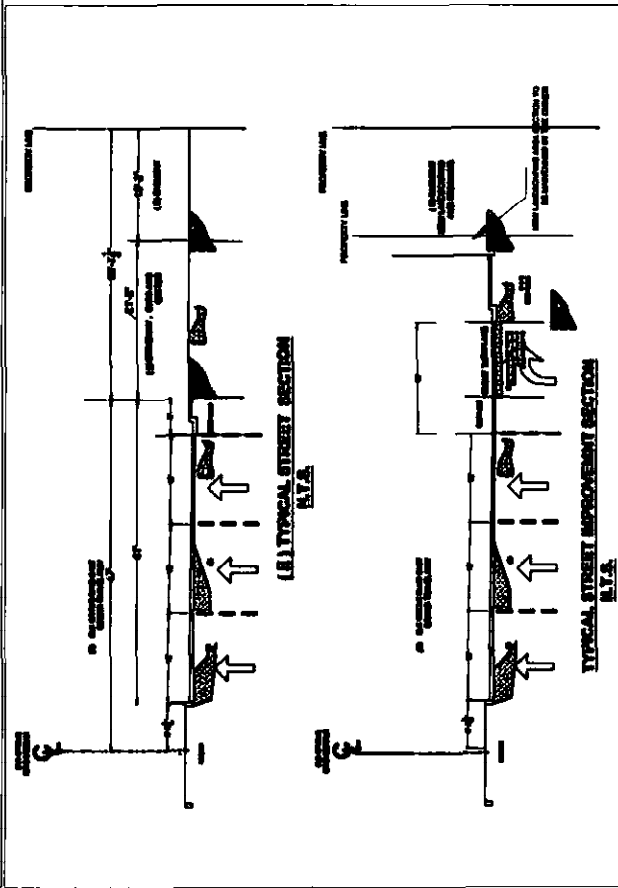
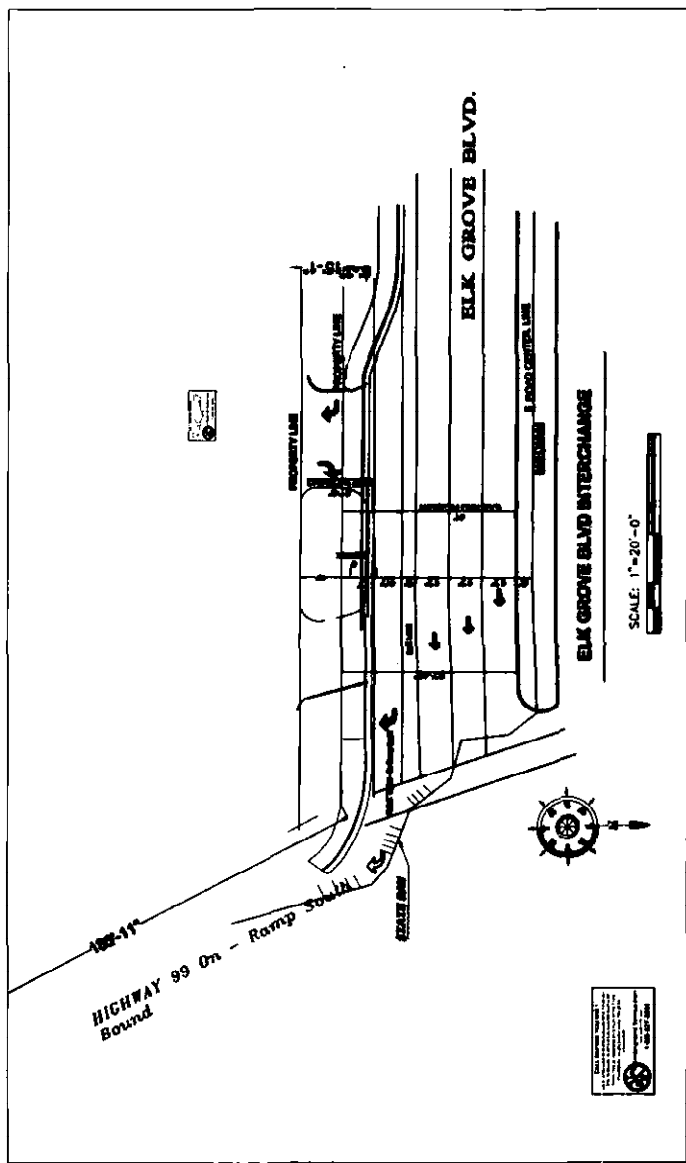
BY WEST COUNTY PRODUCTS, LLC
 6500 ELK GROVE BLVD.
 ELK GROVE, CA 95756

SHEET TITLE

**SITE
 PLANS
 TYPICAL SECTIONS**

Issue Date

05/10/11 **C-3.1**





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RUAD HASSOUNEH
Engineer of Record



PROJECT MANAGER
MANZAR QAYYUM

PROPOSED

NEW
ARCO AM/PM
GAS STATION



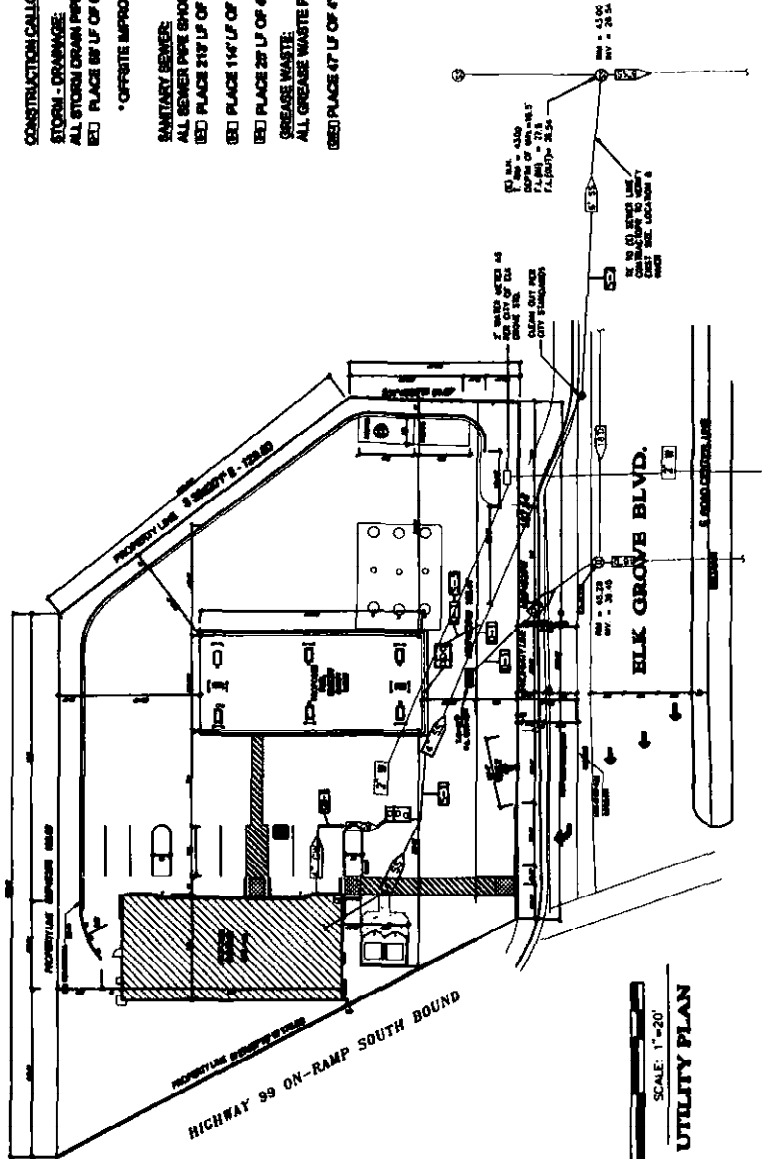
8300 ELK GROVE BLVD.,
ELK GROVE, CA 95758

SHEET TITLE

UTILITY PLAN

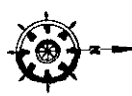
Issue Date
05/10/11
C-4.0

- CONSTRUCTION CALLOUTS:**
- STORM - DRAINAGE:
 - ALL STORM DRAIN PIPE SHALL BE PVC OR RCP U.L.O.
 - SEE PLACE UP OF 4" PIPE @ 1.0% SLOPE *
 - * OFFSITE IMPROVEMENT UNDER SEPARATE PERMIT
 - SANITARY SEWER:
 - ALL SEWER PIPE SHOULD BE VCP OR ABS U.L.O.
 - SEE PLACE UP OF 4" PIPE @ 2.0% SLOPE
 - SEE PLACE UP OF 4" PIPE @ 1.0% SLOPE
 - SEE PLACE UP OF 4" PIPE @ 1.0% SLOPE
 - GREASE WASTE:
 - ALL GREASE WASTE PIPE SHOULD BE VCP OR ABS U.L.O.
 - SEE PLACE UP OF 4" PIPE @ 1% SLOPE



ALL UNDEGROUND UTILITIES SHALL BE INSTALLED PER
CALIFORNIA PUBLIC UTILITIES CODE AND ALL
UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL
RELEVANT REGULATIONS AND STANDARDS. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS FROM THE CITY OF SACRAMENTO
AND THE CALIFORNIA STATE DEPARTMENT OF WATER
RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM
THE CITY OF SACRAMENTO AND THE CALIFORNIA STATE
DEPARTMENT OF WATER RESOURCES.

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL
NECESSARY PERMITS AND APPROVALS FROM THE CITY OF
SACRAMENTO AND THE CALIFORNIA STATE DEPARTMENT OF
WATER RESOURCES. THE CONTRACTOR SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS
FROM THE CITY OF SACRAMENTO AND THE CALIFORNIA
STATE DEPARTMENT OF WATER RESOURCES.



SCALE: 1"=20'
UTILITY PLAN



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FLAD HASSOUNEH
Engineer of Record



MANZAR CAYIUM
PROJECT MANAGER

PROPOSED

**NEW
ARCO AM/PM
GAS STATION**

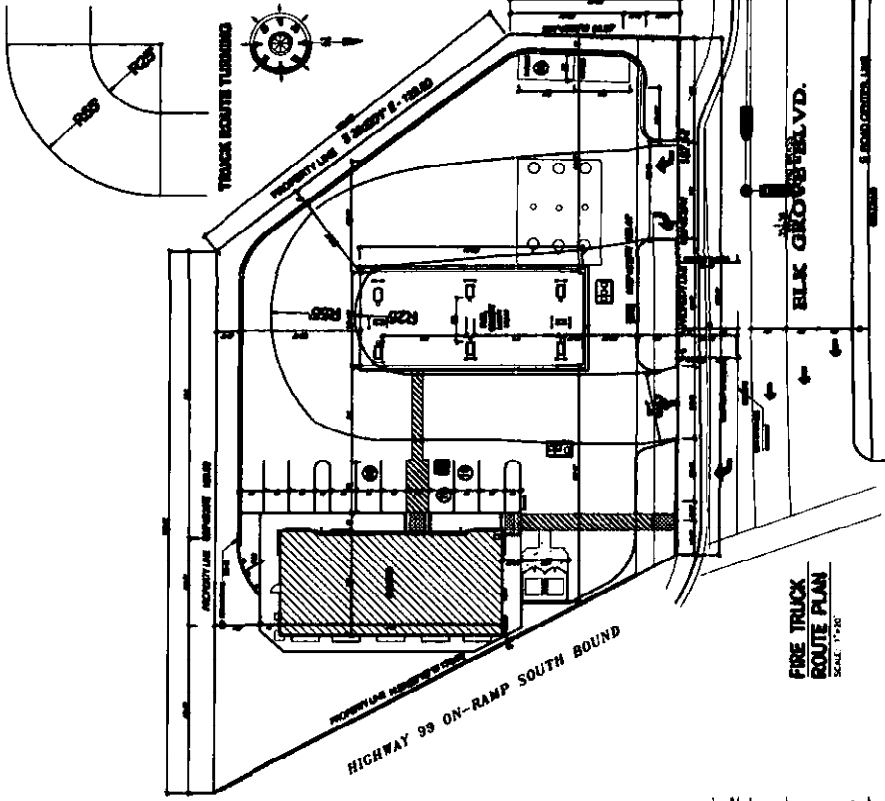


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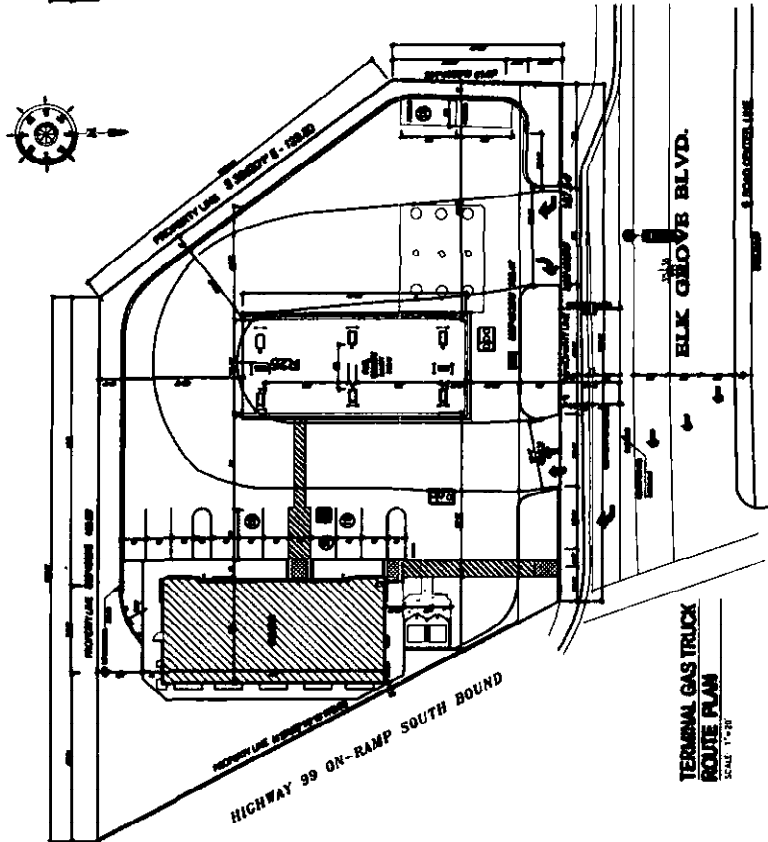
SHEET TITLE

**FIRE /TERMINAL
TRUCKS ROUTE
PLANS**

Sheet Date: **05/10/11**
Sheet: **C-5.0**



**FIRE TRUCK
ROUTE PLAN**
SCALE: 1"=30'



**TERMINAL GAS TRUCK
ROUTE PLAN**
SCALE: 1"=30'

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RUAD HASSOUNEH
Engineer of Record



PROJECT MANAGER
MANZAR CAYTUM

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NEW
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GAS STATION

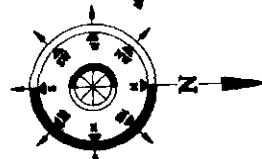
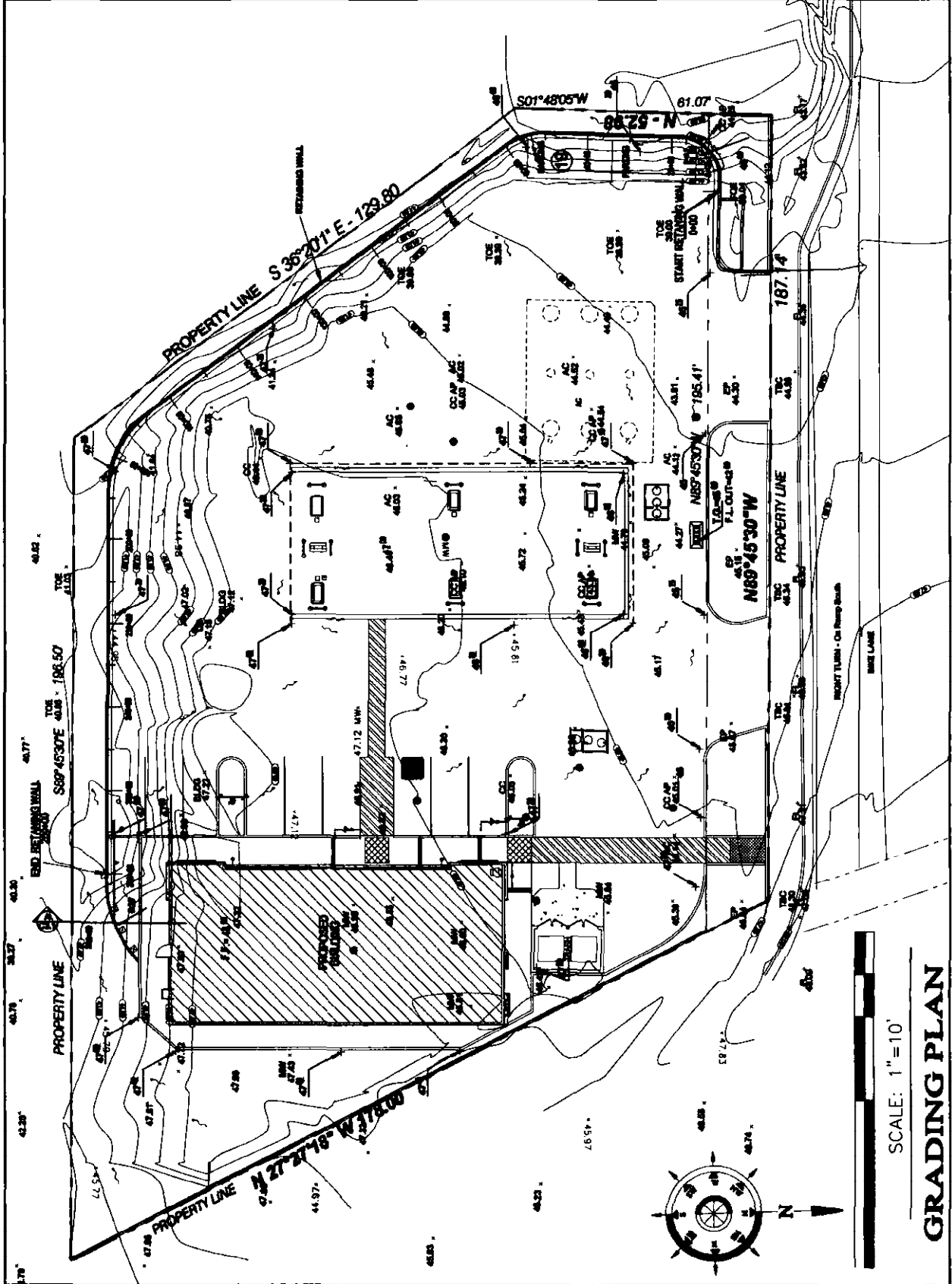


8900 ELK GROVE BLVD,
ELK GROVE, CA 95758

SHEET TITLE

GRADING PLAN

Issue Date
05/10/11
C-6.0



SCALE: 1"=10'

GRADING PLAN

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FUND HASSOLMEIER
Engineer of Record



PROJECT MANAGER
MANZAR QAYUM

PROPOSED

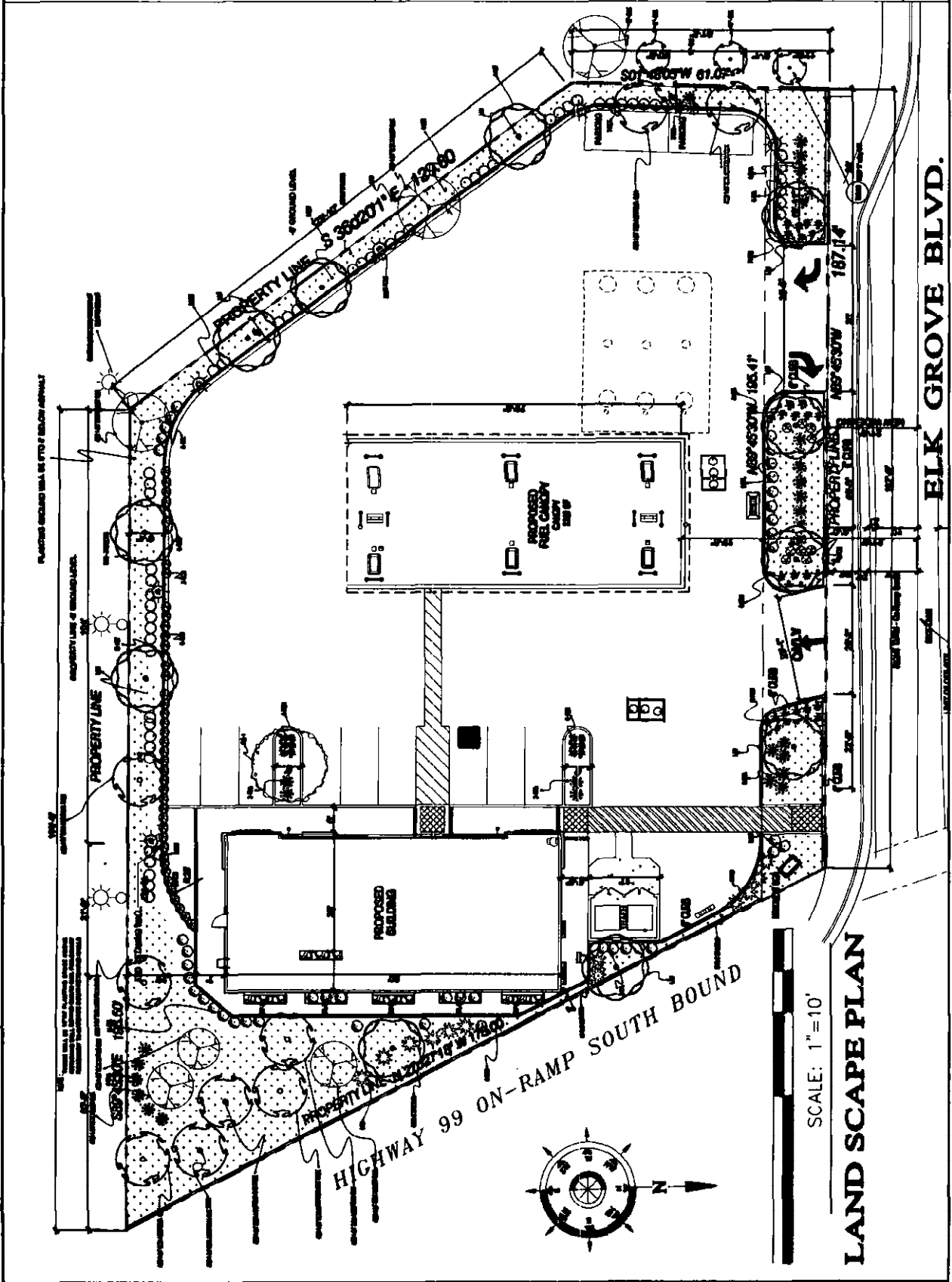
NEW
ARCO AM/FM
GAS STATION



8300 ELK GROVE BLVD.
ELK GROVE, CA 95758

SHEET TITLE
LANDSCAPE PLAN

Sheet Date: 05/10/11
LS-01



LANDSCAPE PLAN

SCALE: 1" = 10'

ELK GROVE BLVD.

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RIND HASSOUNEH
Engineer of Irrigation



PROJECT MANAGER
MANZAR QAYYUM

PROPOSED

NEW
ARCO AM/PM
GAS STATION



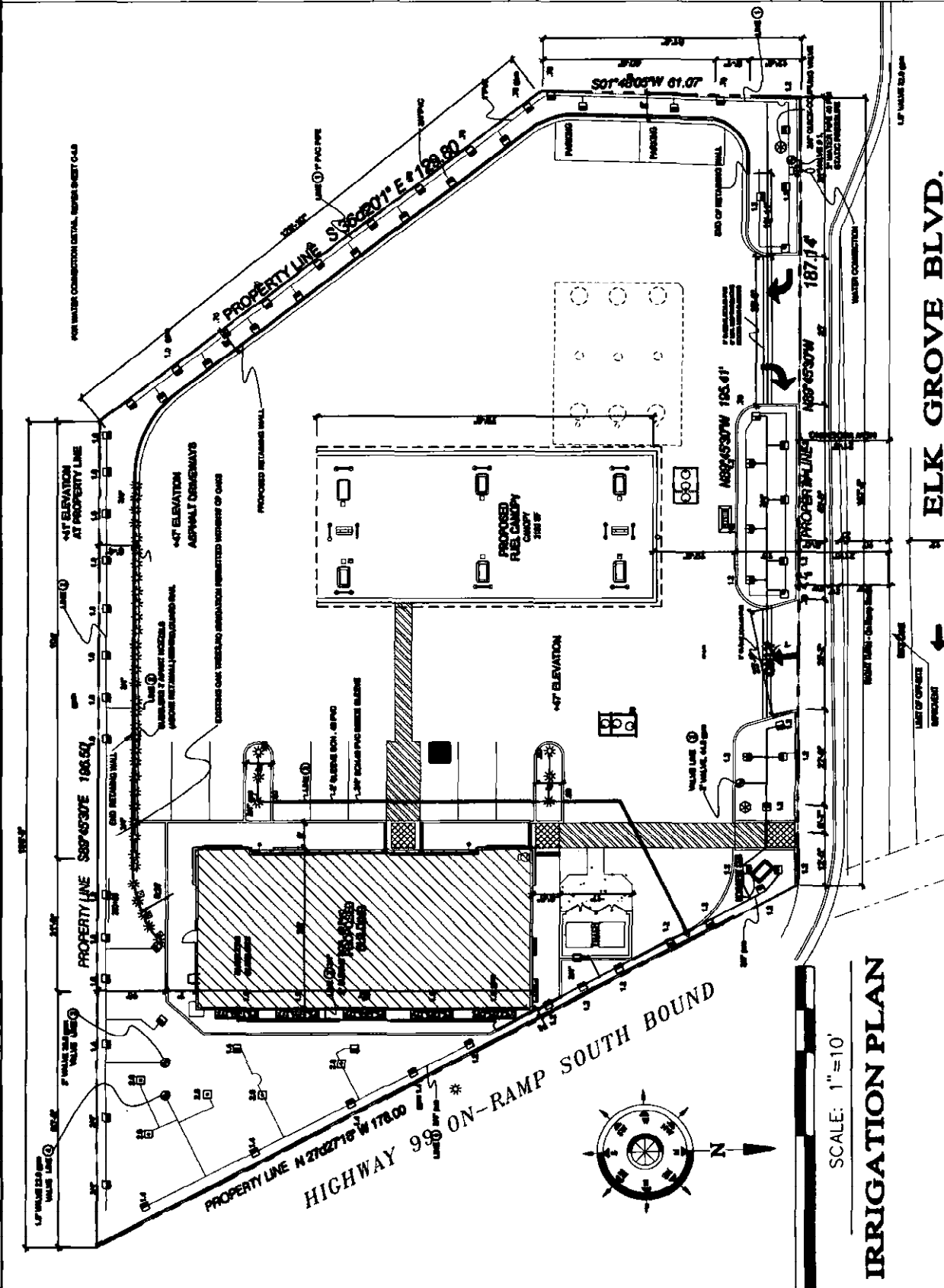
8500 ELK GROVE BLVD.
ELK GROVE, CA 95756

SHEET TITLE

IRRIGATION PLAN

Sheet Date

05/10/11 **LS-2.0**



IRRIGATION PLAN

SCALE: 1"=10'

ELK GROVE BLVD.

MAK Design-Build
 6810 BLACK ROCK DRIVE
 SACRAMENTO, CA 95825
 PHONE: (916) 344-6225
 FAX: (916) 344-1828
 makdesign_build@yahoo.com

FUAD MASSOUMIENH
 Engineer of Record



AMAZAR QAYYUM
 PROJECT MANAGER

PROPOSED
ARCO AM/PM
GAS STATION



WEST COAST PRODUCTS LLC
 8300 ELK GROVE BLVD,
 ELK GROVE, CA 95758

SHEET TITLE
PROPOSED
FLOOR PLAN

DATE: **05/10/11**
 SCALE: **A-2.0**

NOTES TO CONTRACTOR

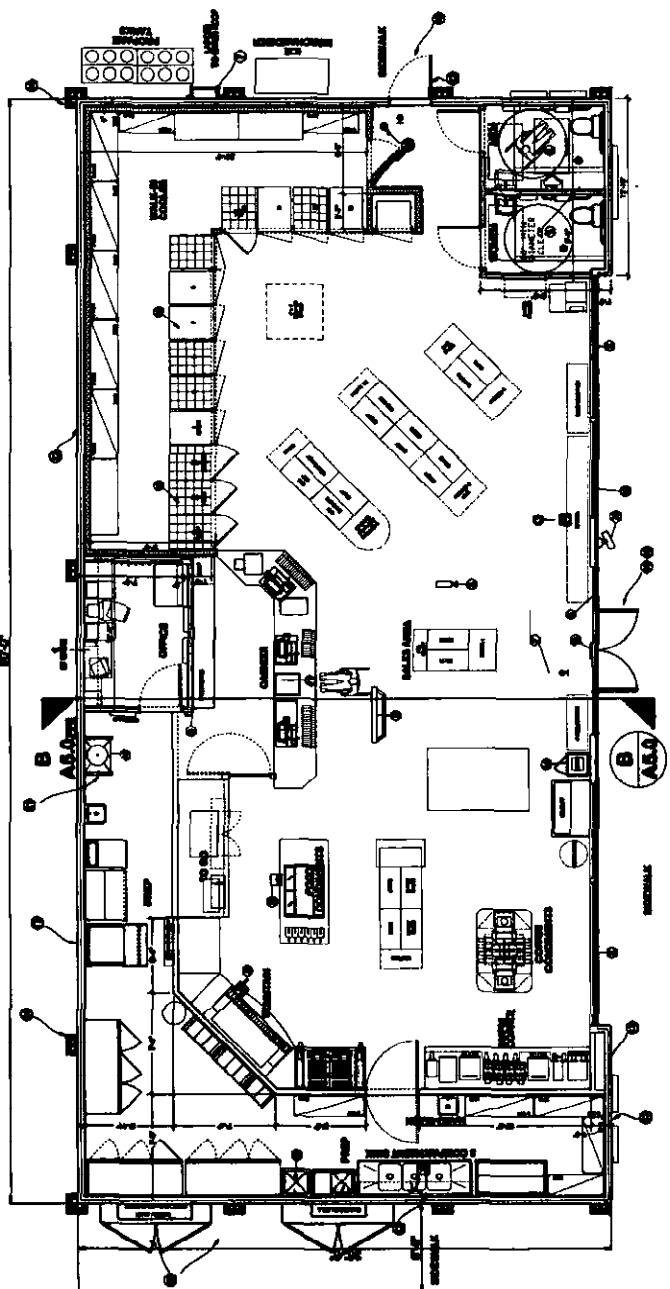
1. VERIFY ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SACRAMENTO PERMITS AND ALL APPLICABLE REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SACRAMENTO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR) BEFORE COMMENCING WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SACRAMENTO AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR) BEFORE COMMENCING WORK.
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GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THIS PLAN.
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10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THIS PLAN.

FLOOR PLAN KEY NOTES

1. ACCESSIBLE RESTROOM
2. EXPOSED BRICK FINISH
3. CITY CANTINA
4. CITY INKSTATION
5. FIRE EXTINGUISHER LOCATION SHALL BE AS APPROVED BY THE FIRE DEPARTMENT (TYPE AND SIZE TO BE DETERMINED BY THE FIRE DEPARTMENT). SEE ELEVATION SHEET FOR WALL FINISHES AND FINISHES.
6. ROOF LIDER TO UPPER ROOF SEE SHEET 04
7. FLOOR FINISH
8. ALL CURTAIN RODS (INSTALLED ONLY IF REQUIRED BY LOCAL AGENCY) SHALL BE INSTALLED BEFORE FINISH.
9. FLOOR FINISH
10. FLOOR FINISH
11. STONE FINISH ALUMINUM TYP.
12. ALL INTERIORS SHALL BE FINISHED WITH 1/2" X 1/2" X 1/2" TYP. CERAMIC TILE ON ALL WALLS AND CEILING.
13. ALL INTERIORS SHALL BE FINISHED WITH 1/2" X 1/2" X 1/2" TYP. CERAMIC TILE ON ALL WALLS AND CEILING.
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20. ALL INTERIORS SHALL BE FINISHED WITH 1/2" X 1/2" X 1/2" TYP. CERAMIC TILE ON ALL WALLS AND CEILING.



FLOOR PLAN
 SCALE: 1/4"=1'-0"

LEGEND

- 1. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 2. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
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- 4. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
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- 9. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 10. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 11. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 12. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 13. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 14. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 15. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 16. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 17. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 18. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 19. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING
- 20. 1/2" CERAMIC TILE ON ALL WALLS AND CEILING

NOTES TO CONTRACTOR

THE CONTRACTOR SHALL VERIFY THE SIZE OF ALL UNITS LISTED HEREIN AND THE LOCATION OF ALL UNITS AND THE LOCATION OF ALL UNITS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND ALL OTHER AGENCIES.

ROOF PLAN NOTES

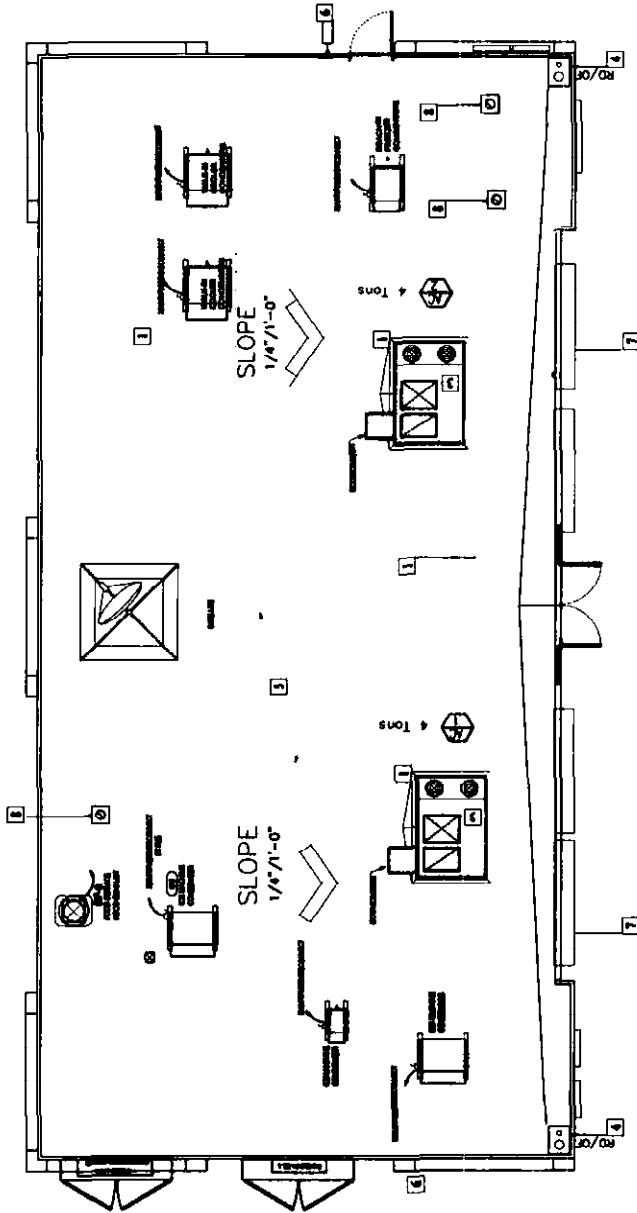
- 1 ROOF CROCKETS, TYP
- 2 NOT USED
- 3 MECH EQUIP. SEE MECH PLANS
- 4 ROOF DRAIN OVERFLOW TYP
- 5 CLASS A BUILT-UP 3 PLY, 20 YEARS INSTALL IN ACCORDANCE W/ MANUE SPECIFICATIONS
- 6 ROOF PARAPET WALL GALV METAL COPING
- 7 LINE OF AWNING CANOPY BELOW
- 8 ROOF VENT
- 9 ROOF LADDER

LEGEND

□ INDICATES PARAPET ELEVATIONS

ROOF NOTES

1. CONTRACTOR TO VERIFY THAT ALL AREAS ARE PROVIDED WITH POSITIVE DRAINAGE PRIOR TO SHEATHING OF ROOF.
2. ALL ELEVATIONS ARE GIVEN FROM TOP OF FLOOR SLAB ELEVATIONS.
3. PROVIDE INSULATION BETWEEN ALL ROOF FRAMING AND BETWEEN STUDS AT EXTERIOR WALL TYPICAL USDO.
4. VERIFY SIZES AND LOCATIONS OF ALL OPENINGS PLATFORMS ETC. WITH RESPECTIVE CONTRACTORS.
5. WHERE VENT PIPES PENETRATE SHEATHING REFER TO DETAIL (1) (A) (B)
6. ALL ROOF MOUNTED EQUIPMENT (I.E. HOODS A/C EQUIPMENT CONDENSERS ETC) SHALL BE INSTALLED WITH A MINIMUM 2" SLOPE TO EXTERIOR SET-BACK FROM PARAPET WALL. COLOR TO BE SELECTED BY OWNER.
7. ROOFING FIRE RETARDANT "CLASS A" BUILT-UP ROOFING
8. A/C UNITS SHALL NOT EXCEED PARAPET HEIGHT (1) (A) (B)
9. FOR ALL CURBED ROOF OPENING REFER TO DETAIL (1) (A) (B)
10. NOT USED
11. ROOF CROCKETS SHALL BE CONSTRUCTED OF 2x4 AT 16" O.C. WITH 5/8" PLYWOOD OVER MAINTAIN MINIMUM SLOPE OF 3/8" PER FOOT. CROCKET LOCATIONS ARE SHOWN ON ROOF PLANS.
12. ALL CURBS TO BE MINIMUM 8" HIGH EXCEPT A/C WALL WHICH BE 14" HIGH AND PER MANUFACTURER RECOMMENDATION.
13. FOR ALL PENETRATIONS & SUPPORT OF PIPE @ ROOF SEE (1) (A) (B)
14. FOR ALL SUPPORT OF CONDENSATE LINES SEE (1) (A) (B)



ROOF PLAN

SCALE 1/4"=1'-0"



MAMA Design-Build Inc.
 4819 BLACK ROCK DRIVE
 SACRAMENTO, CA 95828
 PHONE (916) 344-8828
 FAX (916) 330-7780
 mamadesign-build.com

FUND MASSOUMEN
 Engineer of Record



MANUEZ GAYTAN
 PROJECT MANAGER

PROPOSED

ARCO AM/PM
GAS STATION



WEST COAST PRODUCTS, LLC
 8300 ELK GROVE BLVD,
 ELK GROVE, CA
 95751

SHEET TITLE

PROPOSED
FLOOR PLAN

05/10/11 **A-3.0**



MANZAR GAYTEM
 PROJECT MANAGER

PROPOSED

**ARCO AM/PM
 GAS STATION**



BY WEST COAST PRODUCTS, LLC

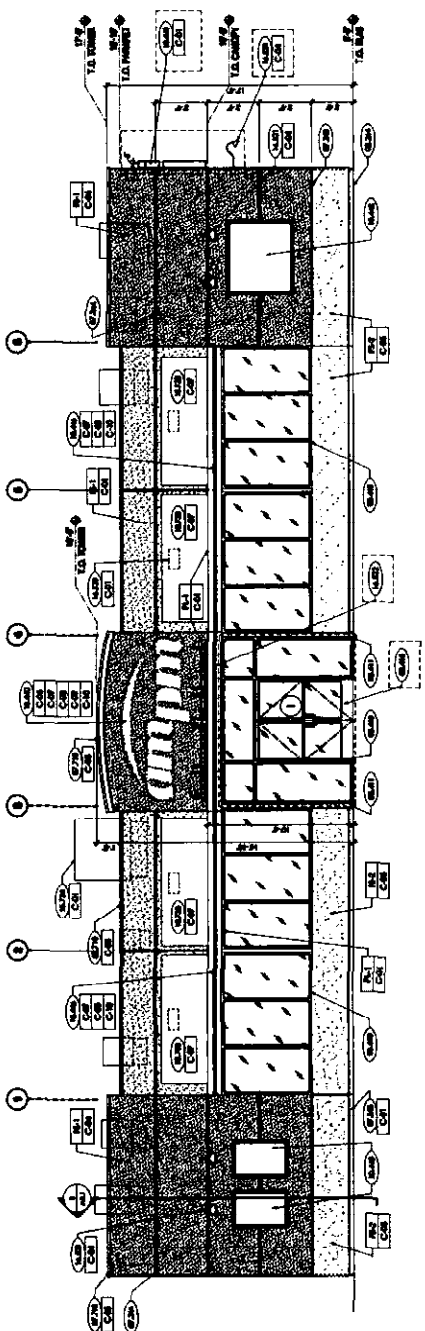
8300 ELK GROVE BLVD,
 ELK GROVE, CA 95758

SHEET TITLE

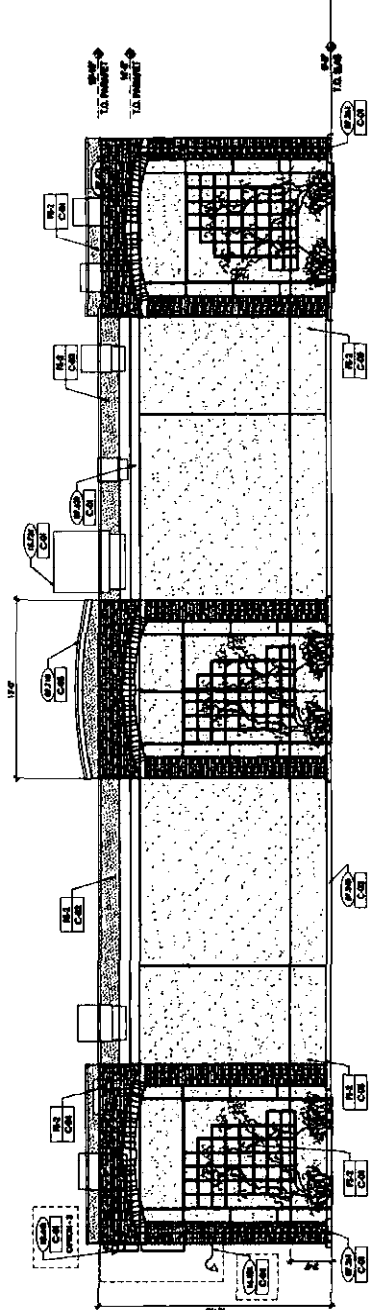
**FRONT REAR
 ELEVATIONS
 (WEST/EAST)**

DATE: 05/10/11
 SHEET: A-4.0

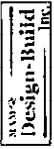
- GENERAL NOTES:**
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL JURISDICTION.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND DEEPER THAN THE EXISTING FINISH FLOOR.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
 9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- KEYED NOTES:**
 1. SEE GENERAL NOTES FOR ALL NOTES.
 2. SEE GENERAL NOTES FOR ALL NOTES.
 3. SEE GENERAL NOTES FOR ALL NOTES.
 4. SEE GENERAL NOTES FOR ALL NOTES.
 5. SEE GENERAL NOTES FOR ALL NOTES.
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 7. SEE GENERAL NOTES FOR ALL NOTES.
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 9. SEE GENERAL NOTES FOR ALL NOTES.
 10. SEE GENERAL NOTES FOR ALL NOTES.
- EXTERIOR FINISHES:**
 1. SEE GENERAL NOTES FOR ALL NOTES.
 2. SEE GENERAL NOTES FOR ALL NOTES.
 3. SEE GENERAL NOTES FOR ALL NOTES.
 4. SEE GENERAL NOTES FOR ALL NOTES.
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- EXTERIOR PAINTS:**
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 9. SEE GENERAL NOTES FOR ALL NOTES.
 10. SEE GENERAL NOTES FOR ALL NOTES.



FRONT ELEVATION (EAST)



REAR ELEVATION (WEST)



MAYOR Design-Build Inc.
 WWW.DESIGN-BUILD.COM
 410 BLACK ROCK DR
 SACRAMENTO CA 95833
 PHONE 916 346-3888
 FAX 916 346-3888
 E-MAIL: HASSAUBER@MAYOR.COM

ELIAB E. HASSAUBER
 Engineer of Record



MARKER QTY: 100
 PROJECT NUMBER: 1000000000



PROPOSED
 TENANT IMPROVEMENT PLAN



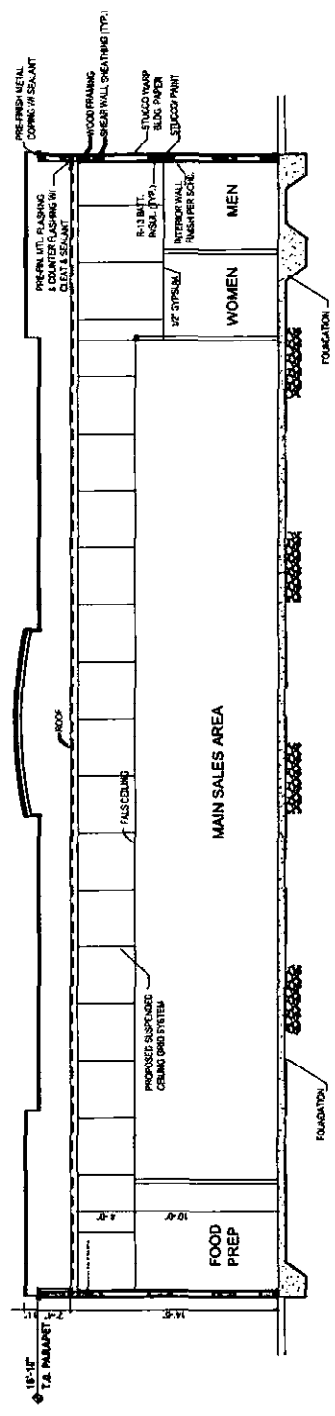
Mart Mart & Gas
 8500 ELK - GROVE Blvd
 Elk - Grove, CA 95758

10/05/10

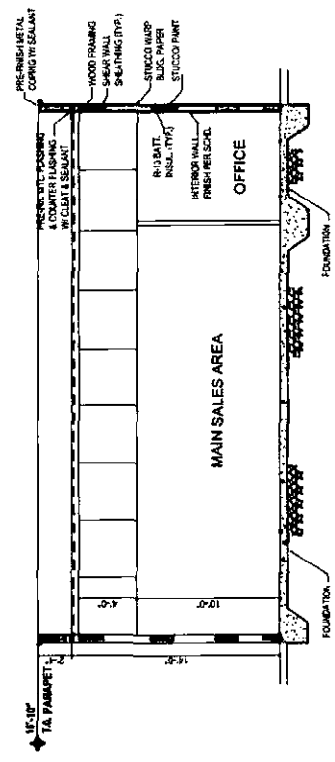
Sheet Title

SECTIONS

Sheet	A-5.0
Issue Date	10/05/10



SECTION A-A
 1/4" = 1'-0"



SECTION B-B
 1/4" = 1'-0"

MAK Design-Build Inc.
 4810 BLACK ROCK DRIVE
 SACRAMENTO, CA 95828
 PHONE: (916) 944-0558
 FAX: (916) 933-7898
 makdesignbuild.com

FLUG HANSEN
 Engineer of Record
 1000 J STREET, SUITE 100
 SACRAMENTO, CA 95811
 (916) 441-1111
 flughansen.com



MANZAR DAYLUM
 PROJECT MANAGER

PROPOSED

ARCO AM/PM GAS STATION



89 WEST COAST INDUSTRIAL LLC

1590 ELK GROVE BLVD.
 ELK GROVE, CA 95758

SHEET TITLE
 RETAINING WALL
 PROPOSED
 PLAN

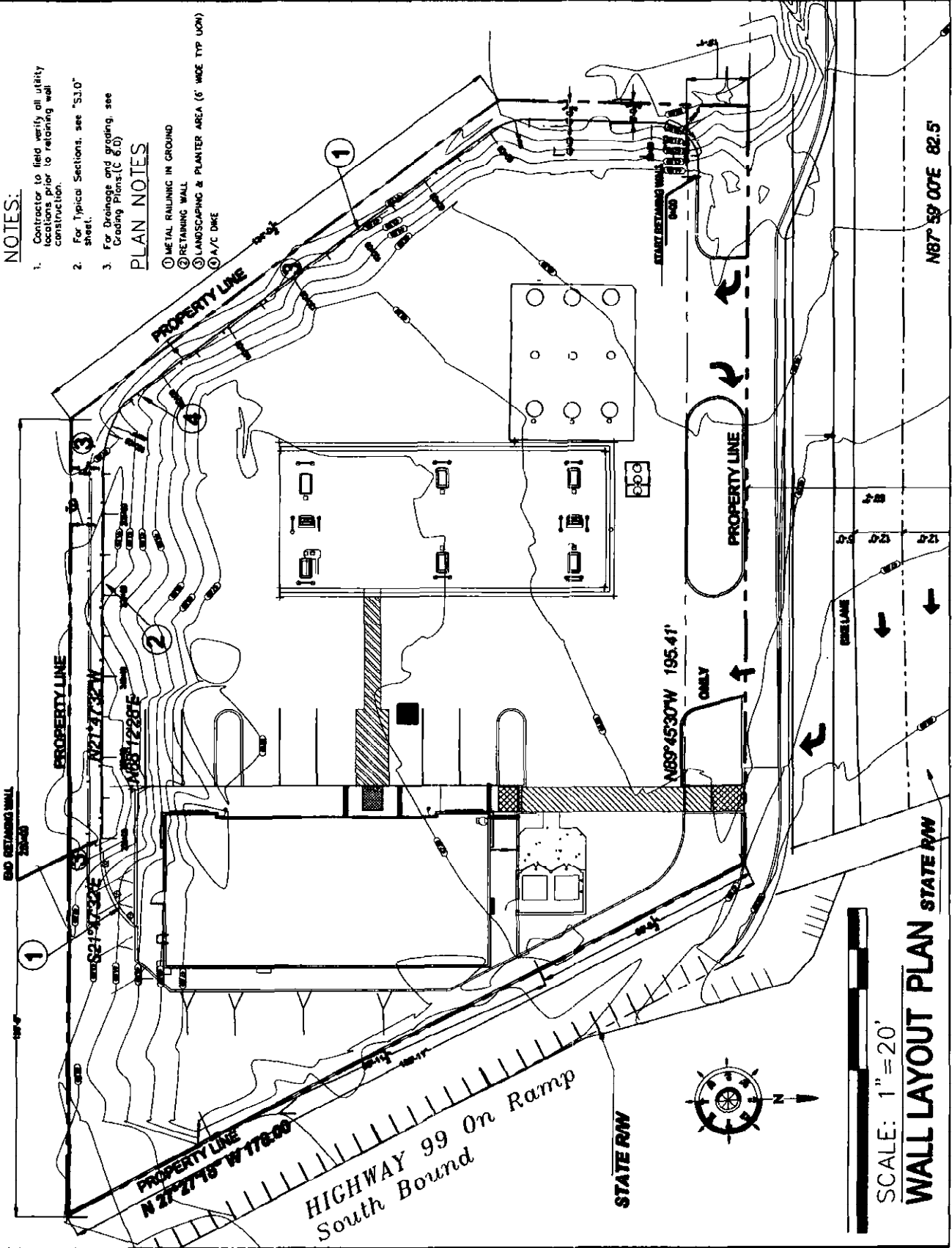
DATE: 05/10/11
 SCALE: S-1.0

NOTES:

1. Contractor to field verify all utility locations prior to retaining wall construction.
2. For Typical Sections, see "S-1.0" sheet.
3. For Drainage and grading, see Grading Plans (C 6.0)

PLAN NOTES

- ① METAL RAILING IN GROUND
- ② RETAINING WALL
- ③ LANDSCAPING & PLANTER AREA (6" WIDE TYP UCM)
- ④ A/C DWE



N67°59'00"E 82.5'

SCALE: 1" = 20'
WALL LAYOUT PLAN STATE RW



6810 BLACK ROCK DRIVE
SACRAMENTO, CA 95825
PHONE: (916) 344-8338
FAX: (916) 344-7888
hannaford_j@mkdb.com

FUND HASSOURISH
Engineer of Record



MANZAR QATYUN
PROJECT MANAGER

PROPOSED
ARCO AM/PMA
GAS STATION

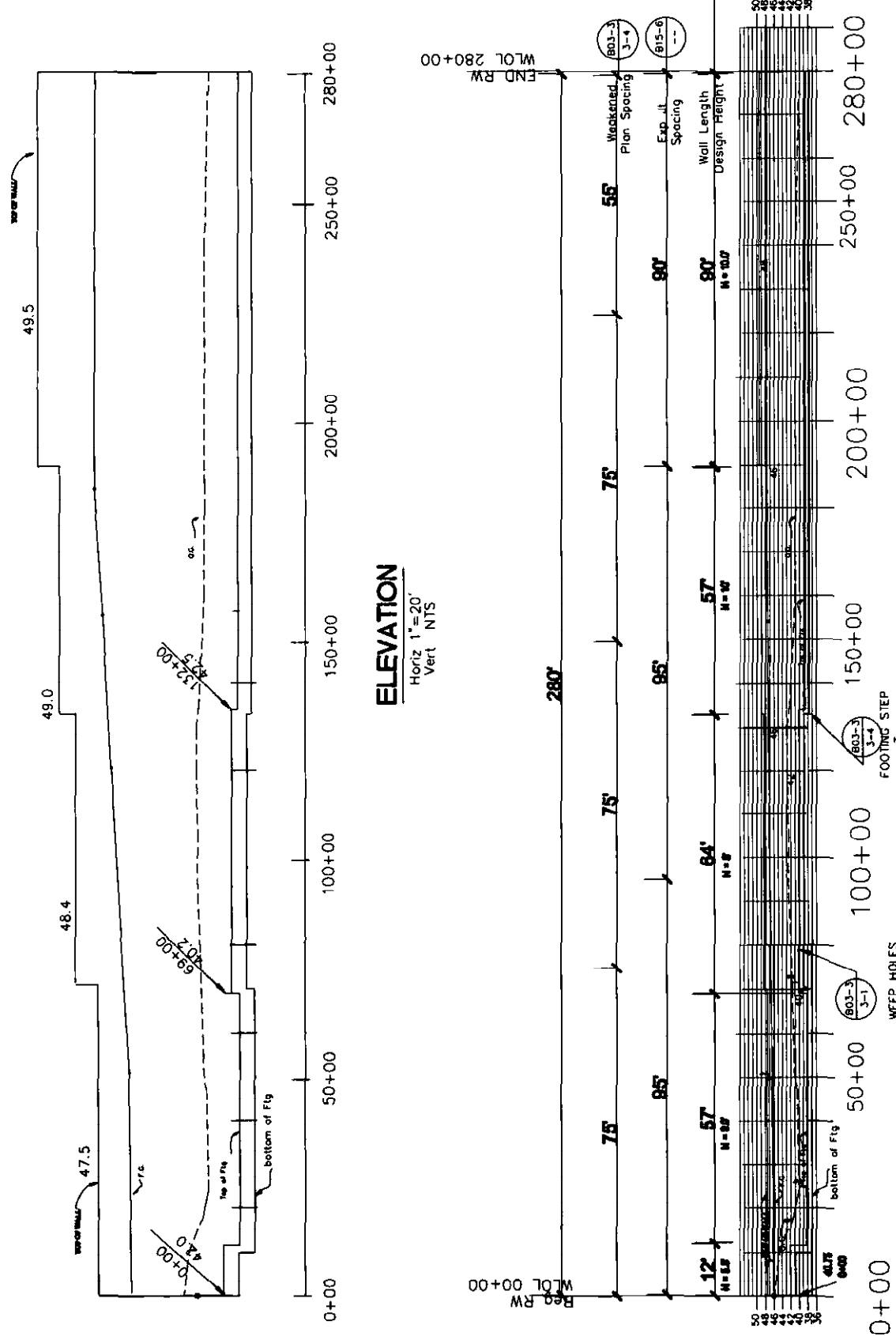


80 WEST COAST PRODUCTS LLC

8500 ELK GROVE BLVD.
ELK GROVE, CA 95758

SHEET TITLE
RETAINING WALL
ELEVATIONS
PLAN

DATE
05/10/11
S-2.0



M&M
Design-Build, Inc.
www.design-build.com

4810 BLACK ROCK DRIVE
SACRAMENTO, CA 95835
PHONE: (916) 346-5838
FAX: (866) 828-7898
hassouneh_jhi@yahoo.com

FLUAD HASSOUNEH
ENGINEER OF RECORD



PROJECT MANAGER
MANZAR QAYYUM

PROPOSED

ARCO AM/PM
GAS STATION

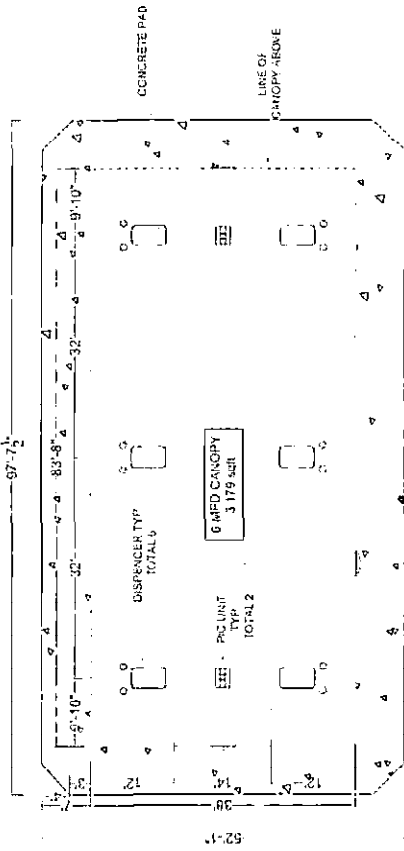


8500 ELK GROVE BLVD.
ELK GROVE, CA 95758

SHEET TITLE

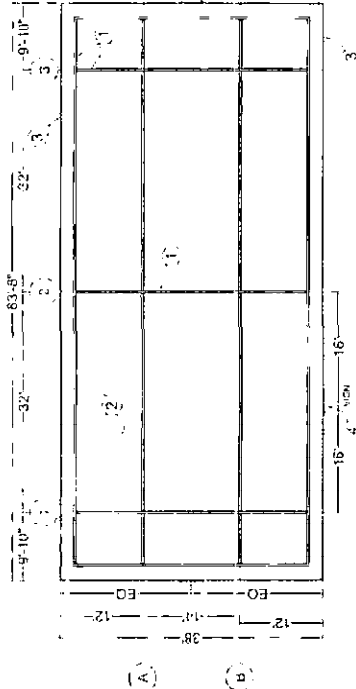
CANOPY
FLOOR & ROOF
PLAN

Issue Date: 09/12/09
SHEET: CP-1.0



FLOOR PLAN

1/8" = 1'-0"



ROOF PLAN

1/8" = 1'-0"

NOTES

- 1. EXPOSED STEEL FRAMING
- 2. SUSPENDED METAL DECK
- 3. ALUMINUM COMPOSITE MATERIAL FASCIA PANEL
- 4. ILLUMINATED SIGN BOX



WWW.DESIGN-BUILD.COM
 INFO@DESIGN-BUILD.COM
 5415 BLUCKY ROCK DRIVE
 SACRAMENTO, CA
 PHONE: (916) 980-6600
 FAX: (916) 980-7888

LEAD E. HASSAQUICH
 Engineer of Record



MARION GARDNER
 Project Manager

916-975-7580
 TRAVEL IMPROVEMENT PLAN



ARCO
 4000 MARKET STREET, SUITE 100
 SACRAMENTO, CA 95834

Mart Mart & Gas
 8500 ELK - GROVE Blvd.
 Elk - Grove, CA
 95758

Sheet Title

CANOPY
 ELEVATIONS

Sheet
 09/24/09 CP-2.0

GENERAL NOTES:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SACRAMENTO SPECIFICATIONS FOR PUBLIC WORKS.
- 2. ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER OF RECORD.
- 3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- 4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

KEYED NOTES:

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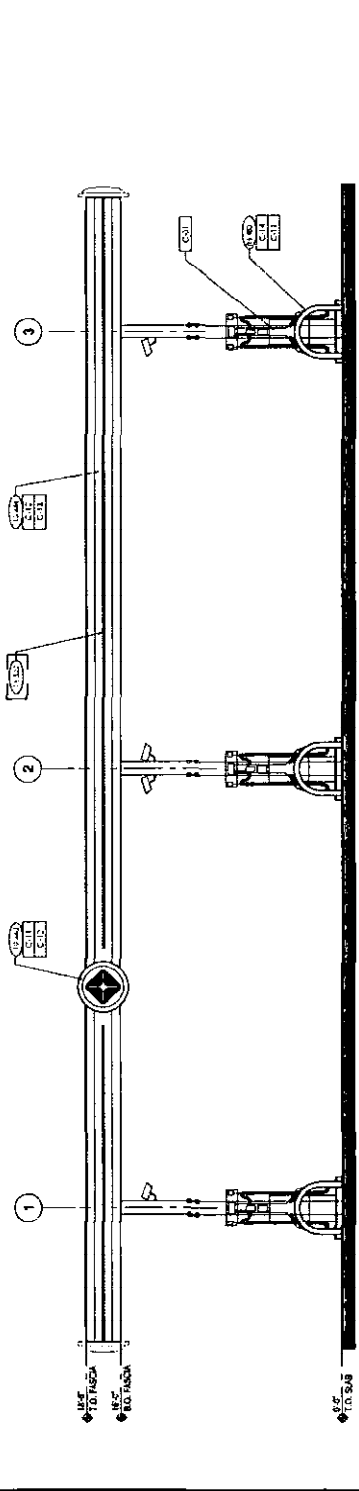
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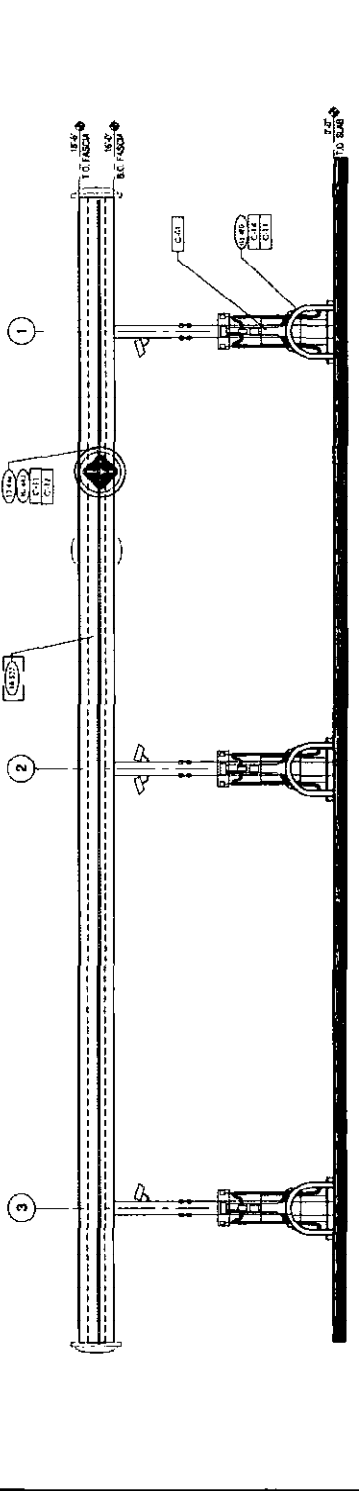
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EXTERIOR FINISHES:

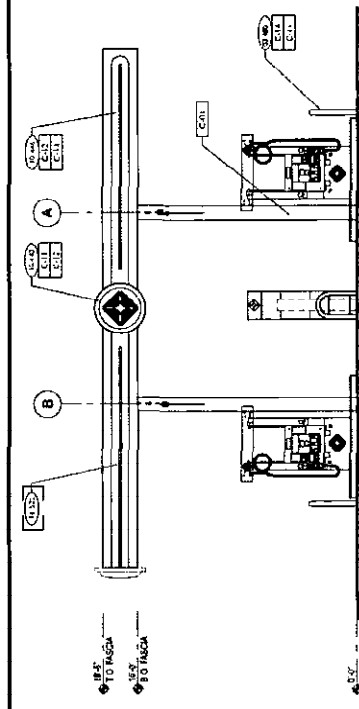
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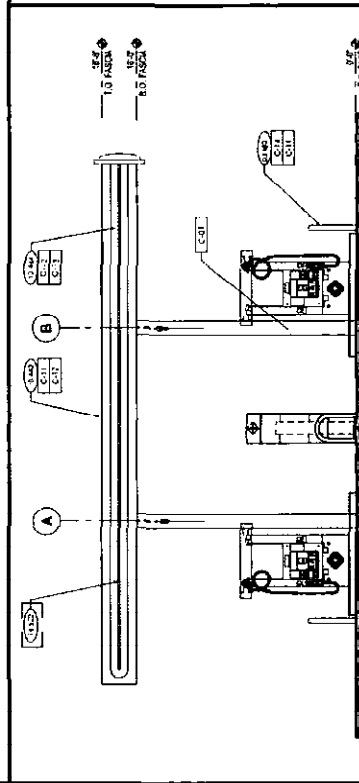
4 FRONT ELEVATION (EAST ELEVATION)
 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION (WEST ELEVATION)
 SCALE: 1/4" = 1'-0"



1 LEFT SIDE ELEVATION (NORTH ELEVATION)
 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION (SOUTH ELEVATION)
 SCALE: 1/4" = 1'-0"

City. The City will not accept any conservation or other conditional easements on the drainage courses to be conveyed to the City. (Public Works)

- o. Each condition of approval shall be satisfied prior to the issuance, approval, and/or the acceptance of the item(s) listed in the Timing/Implementation column. (Public Works)

Attachments

1. Exhibit A-1: October 13, 2011 Memo from Tree Associates

**CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2011-255**

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) **ss**
CITY OF ELK GROVE)

I, Jason Lindgren, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on December 14, 2011 by the following vote:

AYES : COUNCILMEMBERS: Cooper, Hume, Davis, Detrick, Scherman

NOES: COUNCILMEMBERS: None

ABSTAIN : COUNCILMEMBERS: None

ABSENT: COUNCILMEMBERS: None


Jason Lindgren, City Clerk
City of Elk Grove, California